

FILE CONTROL SHEET

PROPERTY ADDRESS 5901 Waukesha

[illegible]



City of Rancho Palos Verdes
Planning Division
PLANNING CLEARANCE

30940 Hawthorne Boulevard
Rancho Palos Verdes, CA 90275
P: (310)544-5280 F: (310) 544-5293

Planning Case No:
PLSR2018-0045

Applied Date: 02/20/2018
Approved Date: 02/20/2018
Expiration Date: 08/19/2018

Application Type(s): SITE PLAN REVIEW MINOR	Project Address: 5901 Waukesha Pl APN: 7578014017
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Owner: Jason Choice Phone Number: 3107205271 Email: jasonchoice1@gmail.com	Applicant: Jason Choice Phone Number: 3107205271 Email: jasonchoice1@gmail.com
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Fees Paid: Description	Amount
DATA PROCESSING	4
SITE PLAN REVIEW MINOR	135

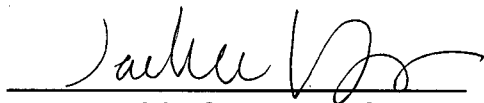
Project Description: Add outdoor kitchen and fire pit at rear yard
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Conditions of Approval: General Conditions: 1. The applicant shall indemnify, protect, defend, and hold harmless, the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including, but not limited to arbitrations, mediations, and other such procedures) (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, the action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project. 2. Prior to conducting any work in the public right of way, such as for curb cuts, dumpsters, temporary improvements and/or permanent improvements, the applicant shall obtain an encroachment permit from the Director of Public Works. 3. Approval of this permit shall not be construed as a waiver of applicable and appropriate zoning regulations, or any Federal, State, County and/or City laws and regulations. Unless otherwise expressly specified, all other requirements of the City of Rancho Palos Verdes Municipal Code shall apply. 4. Pursuant to Section 17.78.040, the Community Development Director is authorized to make minor modifications to the approved plans and any of the conditions of approval if such modifications will achieve substantially the same results as would strict compliance with the approved plans and conditions. Substantial changes to the project shall be considered a revision and require approval by the final body that approved the original project, which may require new and separate environmental review and public notification. 5. The project development on the site shall conform to the specific standards contained in these conditions of approval or, if not addressed herein, shall conform to the residential development standards of the City's Municipal Code, including but not limited to height, setback and lot coverage standards. 6. Failure to comply with and adhere to all of these conditions of approval may be cause to revoke the approval of the project pursuant to the revocation procedures contained in Section 17.86.060 of the City's Municipal Code or administrative citations as described in Section 1.16 of the City's Municipal Code.
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7. If the applicant has not submitted an application for a building permit for the approved project or not commenced the approved project as described in Section 17.86.070 of the City's Municipal Code within 180-days of the final effective date of this decision, approval of the project shall expire and be of no further effect unless, prior to expiration, a written request for extension is filed with the Community Development Department and approved by the Director.
8. In the event that any of these conditions conflict with the recommendations and/or requirements of another permitting agency or City department, the stricter standard shall apply.
9. Unless otherwise designated in these conditions, all construction shall be completed in substantial conformance with the plans stamped APPROVED by the City with the effective date of this decision.
10. This approval is only for the items described within these conditions and identified on the stamped APPROVED plans and is not an approval of any existing illegal or legal non-conforming structures on the property, unless the approval of such illegal or legal non-conforming structure is specifically identified within these conditions or on the stamped APPROVED plans.
11. The construction site and adjacent public and private properties and streets shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may include, but not be limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.
12. All construction sites shall be maintained in a secure, safe, neat and orderly manner, to the satisfaction of the City's Building Official. All construction waste and debris resulting from a construction, alteration or repair project shall be removed on a weekly basis by the contractor or property owner. Existing or temporary portable bathrooms shall be provided during construction. Portable bathrooms shall be placed in a location that will minimize disturbance to the surrounding property owners, to the satisfaction of the City's Building Official.
13. Permitted hours and days for construction activity are 7:00 AM to 6:00 PM, Monday through Friday, 9:00AM to 5:00PM on Saturday, with no construction activity permitted on Sundays or on the legal holidays specified in Section 17.96.920 of the Rancho Palos Verdes Development Code. During demolition, construction and/or grading operations, trucks shall not park, queue and/or idle at the project site or in the adjoining street rights-of-way before 7AM Monday through Friday and before 9AM on Saturday, in accordance with the permitted hours of construction stated in this condition. When feasible to do so, the construction contractor shall provide staging areas on-site to minimize off-site transportation of heavy construction equipment. These areas shall be located to maximize the distance between staging activities and neighboring properties, subject to approval by the building official.
14. If construction projects that are accessible from a street right-of-way or an abutting property and which remain in operation or expect to remain in operation for over 30 calendar days, the applicant shall provide temporary construction fencing, as defined in Section 17.56.050(C) of the Development Code. Unless required to protect against a safety hazard, temporary construction fencing shall not be erected sooner than 15 days prior to commencement of construction.
15. For all grading, landscaping and construction activities, the applicant shall employ effective dust control techniques, either through screening and/or watering.
16. This approval is for an additional outdoor kitchen and fire pit
17. The approved project shall maintain the setbacks depicted on the stamped approved plans, but in no case shall minimum setbacks be less than the following: 20' front, 15' rear and 5' sides.
18. The approved project shall maintain a maximum of 52% lot coverage.
19. Prior to the issuance of building permits, the applicant shall demonstrate the project's compliance with the South Coast Air Quality Management District Rule 445 and the City Municipal Code requirements regarding wood-burning devices.

The City strongly urges the Applicant or Owner for this project to contact the Homeowners' Association or local Art Jury, if any, to gain any additional approvals that may be required before applying for a building permit. A list of Homeowners' Associations is on file with the Department of Community Development of Rancho Palos Verdes.

Projects may require approval from the Los Angeles County Fire Department. The LA County Fire Department Fire Prevention Division is located at 4475 W El Segundo Blvd, Hawthorne, CA 90250-4411 and can be contacted at (310) 973-3044.



JAEHEE YOON for Director of Community Development

THIS APPROVAL SHALL BE NULL AND VOID AFTER 08/19/2018 UNLESS THE APPROVED PLANS ARE SUBMITTED TO THE BUILDING & SAFETY DIVISION TO INITIATE THE PLAN CHECK REVIEW PROCESS. THIS APPROVAL SHALL ALSO BECOME NULL AND VOID AFTER INITIATING THE PLAN CHECK REVIEW PROCESS OR RECEIVING A BUILDING PERMIT TO BEGIN CONSTRUCTION AND SAID PERMIT OR PLAN CHECK EXPIRES OR IS WITHDRAWN BY THE APPLICANT.

APPLICANT/CONTRACTOR:

Name: _____

Address: _____

Phone: _____

Email: _____

Project Location: 5901 Waukesha Place, Rancho Palos Verdes, CA 90275Project Description: Fire Pit & Outdoor Kitchen**LANDOWNER:**Name: Jason ChoiceAddress: 5901 Waukesha Place,Rancho Palos Verdes, CA 90275Phone: (310) 720-5271Email: Jasonchoice1@gmail.com**GENERAL INFORMATION**1. 3'6" Maximum height of project, measured from the finished grade adjacent to the structure to the highest point of the structure.2. 50 Square footage of project.3. Distance of project to property lines: Front: _____ Side: 12' Street-Side: _____ Rear: 10'4. Are any of the following conditions proposed? ☐ Yes ☒ No

- Total volume of earth to be moved (sum of cut and fill) is 20 cubic yards or greater.
- Height of fill or depth of cut is 3 feet or greater.

If yes, a separate Grading Application is required.

5. Does the project involve any work, activity, or encroachment in the public right-of-way or in a public drainage structure? ☐ Yes ☒ No

If yes, you must obtain approval from the Public Works Department prior to issuance of building permits.

Information to Determine if a Foliage Analysis is NecessaryDoes the proposed project involve an addition or structure which is 120 square feet or more in size and which can be used as a gathering space and viewing area (i.e., decks, covered patios)? ☐ YES ☒ NO

If the answer is "yes" to this question, a foliage analysis must be conducted by Staff **prior to approval of the Site Plan Review Application** to determine if any existing foliage on the applicant's property, which exceeds 16 feet or the ridgeline of the primary residence, whichever is lower, impairs a view from any surrounding properties

I HEREBY CERTIFY, under penalty of perjury, that the information and materials submitted with this application are true and correct.

Signature of Applicant/Contractor _____

Dated: _____

Signature of Landowner _____

Dated: 2/20/18**CONTRACTORS PLEASE READ AND INITIAL:**

I UNDERSTAND that in order to perform work in the City of Rancho Palos Verdes, a business license must be obtained from the City's Finance Department prior to obtaining a building permit from the Building and Safety Division. _____ (initials)



City of RANCHO PALOS VERDES

Community Development Department

SITE PLAN REVIEW APPLICATION - MINOR

This Site Plan Review Application is required for construction of the following minor residential improvements:

- Chimneys
- Roof pitch modifications
- Minor equipment (enclosed water heaters, A/C units, pool equipment, etc.)
- Skylights, solar panels or any other roof-mounted equipment which extends less than 6" from the roof surface
- Garden windows
- Deck structures less than 30 inches in height from existing adjacent grade and uncovered
- Any other improvement which does not involve new habitable space, which cannot be used as a gathering space and viewing area, and which does not constitute lot coverage

IMPORTANT

- If unsure of any of the City's requirements in areas relating to the proposed development, it is suggested that the planning department be contacted before going to the expense of having plans drawn. Preliminary discussions with the City's Planning staff may reveal potential conflicts with the City's Development Code.
- When filing your application, make certain the entire uniform application is completed and that all the required submittal materials are included, OTHERWISE THE APPLICATION MAY NOT BE ACCEPTED FOR FILING.
- Pursuant to Section 17.86.050 of the RPVMC, THE CITY WILL NOT ACCEPT ANY DEVELOPMENT APPLICATION(S) FOR A LOT OR PARCEL THAT IS IN VIOLATION OF THE CITY'S MUNICIPAL CODE, UNLESS AN APPLICATION IS SUBMITTED TO CORRECT A VIOLATION.
- Notice: CC&R's are private restrictions or agreements. Therefore the City is not responsible for a property owner's compliance with any CC&R's that may govern their property and the City does not enforce private CC&R's. The City recommends that property owners review their title report to see if any CC&R's govern their property, and if so, consult such CC&R's prior to submittal of their application. Additionally, property owners should review their title report for any other private property restrictions (Deed Restriction, Private Easement, etc.) that may govern their property.

In order to process your application without unnecessary delay, these are the materials you must submit:

- A completed and signed (by applicant & property owner) application.
- Three (3) copies of a site plan indicating:
 1. Accurate lot dimensions, all property lines and, if applicable, all easements on the lot.
 2. The adjacent street right-of-way and the access driveway of the lot.
 3. If applicable, topography of the lot indicated by either elevation call-outs or topographic contours.
 4. The location and dimensions of all existing and proposed structures (delineate existing and proposed).
 5. The distance from all existing and proposed structures to the property lines.
- Three (3) copies of the elevations indicating:
 1. The maximum height of the proposed structure, measured from highest point of existing grade covered by the structure to the ridge of the structure (including any roof tiles, roof shingles or other proposed roof material).
- **Mechanical Equipment:** If your application requests approval of mechanical equipment within an interior side yard or rear yard setback area, then submit the equipment's manufacturer's specifications that show that the equipment will not generate a noise level higher than 65 dBA.

Required Application Filing Fees:

- _____ \$139 for the Site Plan Review Application Fee (includes \$4 Data Processing Fee)
- _____ \$198 for a Foliage Analysis
- _____ \$18 fee for Historical Data Input (one time fee per property)

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 65962.5(f), before a city can accept as complete an application for any development project which will be used by any person, the applicant shall consult the lists sent to the appropriate city or county and shall submit a signed statement to the city indicating whether the project and any alternatives located on a site that is included on any of the lists complied and shall specify any list.

The California Environmental Protection Agency (Cal/EPA) has compiled lists of Hazardous Waste and Substances Sites for the entire State of California. The current lists for the City of Rancho Palos Verdes, retrieved from the Cal/EPA web site on August 22, 2012, are within the following chart:

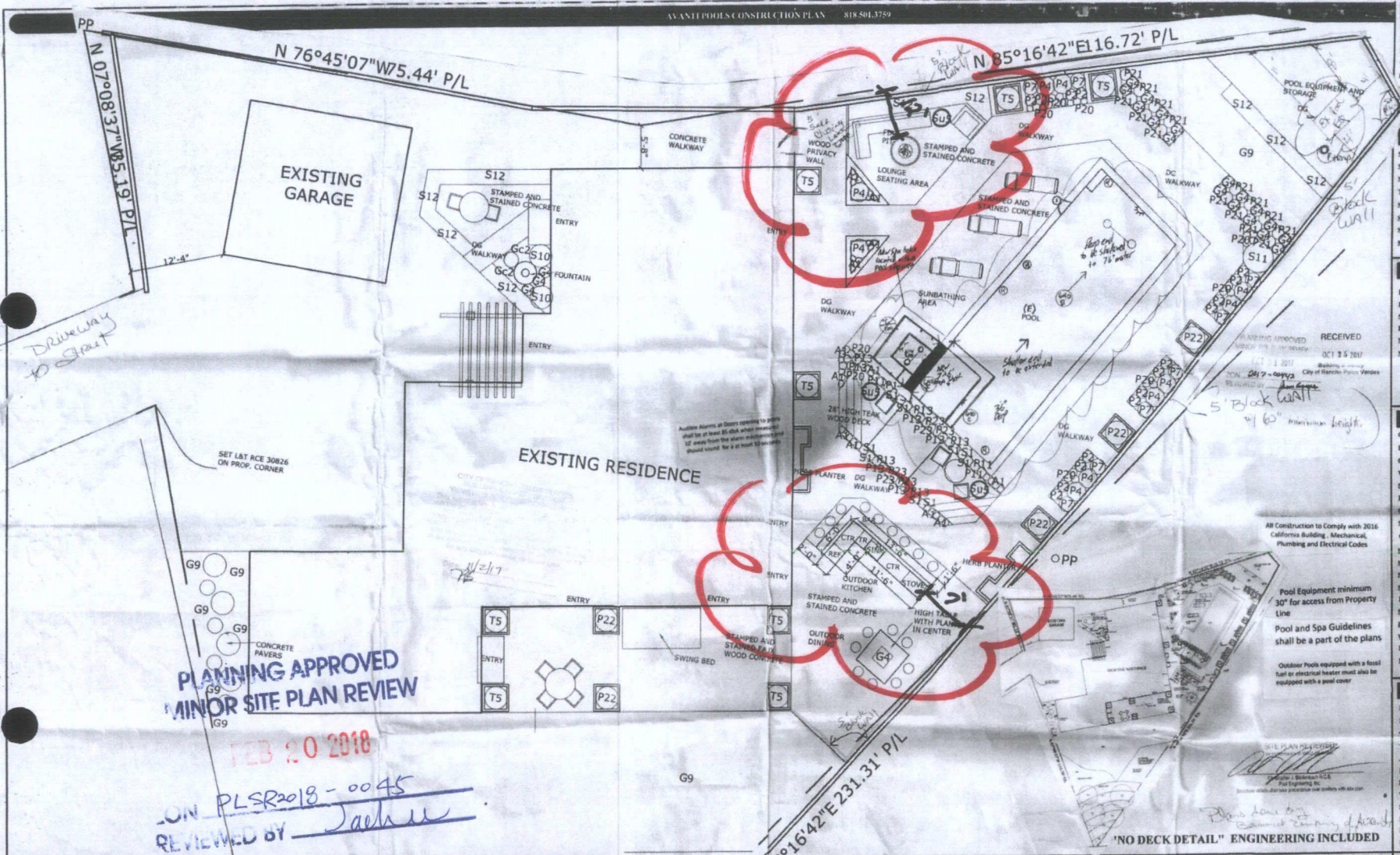
IMPACT CITY: RANCHO PALOS VERDES

STREET ADDRESS	CURRENT USE	FORMER USE	ENVIROSTOR ID
30940 HAWTHORNE BLVD.	City Hall / Civic Center	Nike Missile System	19970023

Please be aware that Cal/EPA updates these lists periodically, and it is the applicant's responsibility to check the most recent lists. If the project site and any alternatives proposed in the application are not contained in the most current Cal/EPA lists, please certify that fact as provided below. If the development project and any alternatives proposed in this application are contained in the most current Cal/EPA lists, please complete the statement on the next page.

I have consulted the most current lists compiled pursuant to Section 65962.5 of the Government Code and hereby certify that the development project and any alternatives proposed in this application are not contained on these lists.

Jason Choise [Signature] 2/20/18
(Applicant) (Signature) (Date)



CONCRETE
PAVERS

PLANNING APPROVED

MINOR SITE PLAN REVIEW

169
FEB 20 2018
ION PLSR2018-0045
REVIEWED BY Jackie

DETAIL	NOTES	REMARKS	OWNER'S SIGNATURE	DATE	AVANTIPOOLS INC.	AVANTIPOOLS INC.
		<p>PUMP CAPACITY: 100 GPM</p> <p>FILTER RATE: 120 GPM</p> <p>TURNOVER: 6 HOURS</p> <p>VACUUM LINE AND SKIMMER: 1.5"</p> <p>SKIMMER: 2.5"</p> <p>RETURN LINE: 3"</p> <p>MAIN DRAIN LINE: 1.5"</p> <p>FILL LINE FROM HOSE BIB: 3/4"</p> <p>GAS LINE SIZE: 1/2" CONTRACT FT.</p> <p>MISC:</p>	<p>OWNER:</p> <p>POOL AREA TO BE FENCED PER CITY ORDINANCE. GATES TO BE SELF CLOSING AND SELF LATCHING.</p> <p>OWNER:</p> <p>WET DOWN GUNITE/SHOTCRETE SHELL AT LEAST TWICE A DAY FOR 7 DAYS. DO NOT USE RUBBER HOSE WHEN FILLING POOL AS IT WILL LEAVE MARKS. DO NOT TURN ON POOL LIGHT WHEN POOL IS EMPTY</p>	<p>I HAVE RECEIVED A COPY OF THIS PLAN AND HEREBY APPROVE POOL, POOL ELEVATION AND EQUIPMENT LOCATION</p> <p>X</p> <p>CUSTOMER SIGNATURE _____ DATE _____</p> <p>SCALE $\frac{1}{8}'' = 1'-0''$ APPROX.</p>	<p>AVANTIPOOLS INC.</p> <p>8138 ORION AVE.</p> <p>VAN NUYS, CA. 91406</p> <p>818.501.3759 / FAX: 818.501.5128</p> <p>www.avantipoolsandspas.com</p> <p>email: avantipools@sbcglobal.net</p>	<p>CUSTOMER INFORMATION</p> <p>CUSTOMER NAME: Charles, Susan, Kelly & John</p> <p>ADDRESS: 5401 Van Nuys Blvd</p> <p>CITY: Van Nuys, CA</p> <p>STATE / ZIP CODE: 91411</p> <p>HOME PHONE #: _____</p> <p>CELL: (818) 720-5271 / (818) 720-5128</p> <p>CROSS STREET: _____</p> <p>ALT. CONTACT: _____</p> <p>ALT. PHONE #: _____</p>



City of Rancho Palos Verdes
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275

INVOICE #
INV-554
Date Due: 3/22/2018

Invoice to:
Jason Choice
5901 Waukesha Pl

Invoice Date: 2/20/2018

Record #	Record Type	Fee Group	Fee Description	Quantity	Amount
PLSR2018-0045	SITE PLAN REVIEW		DATA PROCESSING	0	\$4.00
			SITE PLAN REVIEW MINOR	0	\$135.00
					\$139.00

Invoice Total: \$139.00

Please send your payment to this address: City of Rancho Palos Verdes
Finance Dept.
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275



Cash Register Receipt

City of Rancho Palos Verdes

Receipt Number
R1272

DESCRIPTION	ACCOUNT	QTY	PAID
ProjectTRAK			\$139.00
PLSR2018-0045	Address: 5901 Waukesha Pl	APN: 7578014017	\$139.00
OTHER			\$4.00
DATA PROCESSING	101-300-0000-3215	0	\$4.00
RESIDENTIAL			\$135.00
SITE PLAN REVIEW MINOR	101-300-0000-3215	0	\$135.00
TOTAL FEES PAID BY RECEIPT: R1272			\$139.00

Date Paid: Tuesday, February 20, 2018

Paid By: Jason Choice

Cashier: BMAR

Pay Method: EMV 06343D | 160065046



CITY OF RANCHO PALOS VERDES
PLANNING CLEARANCE

Community Development Department
Planning Division
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275
(310) 544-5228 FAX: (310) 544-5293 E-mail: planning@rpvca.gov

PERMIT NO.: ZON2017-00442
APPLIED: 9/28/2017
ISSUED: 9/28/2017
EXPIRES: 3/27/2018

SITE ADDRESS: 5901 WAUKESHA PL

ASSESSOR'S PARCEL NO.: 7578014017

PROJECT DESCRIPTION: Approval only for pool remodel and new spa within existing pool footprint and pool equipment located within setback area.

OWNER/APPLICANT

JASON CHOICE
5901 WAUKESHA PL
RANCHO PALOS VERDES CA 90275

PRIMARY CONTACT

TYPE OF USE:

ZONING: RS-5 (Single-Fam. 5 DU/ac)

APPLICATION TYPE(S): Site Plan Review

FEES

Type	By	Date	Amount
DATA	JC	9/28/2017	\$4.00
SPR	JC	9/28/2017	\$135.00
Total:			\$139.00

NOTES:

CONDITIONS OF APPROVAL

This approval is only for a pool remodel and new spa within existing pool footprint and pool equipment located within setback area.

Prior to building permit issuance and/or commencement of grading, whichever occurs first, the applicant shall obtain approval of a haul route from the Director of Public Works.

Construction of the approved project shall substantially comply with the plans originally stamped APPROVED on 9/28/2017, and with the RS- district and site development standards of the Rancho Palos Verdes Development Code.

In the event that a Planning Division and a Building Division requirement are in conflict, the stricter standard shall apply.

The construction site and adjacent public and private properties and streets shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may include, but not be limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or



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PLANNING CLEARANCE

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(310) 544-5228 FAX: (310) 544-5293 E-mail: planning@rpvca.gov

PERMIT NO.: ZON2017-00442
APPLIED: 9/28/2017
ISSUED: 9/28/2017
EXPIRES: 3/27/2018

other household fixtures.

The approved project shall maintain the setbacks depicted on the stamped approved plans, but in no case shall minimum setbacks be less than 3' from the rear or interior side property lines.

Except for excavation of the pool and/or spa, no grading is permitted by this approval.


Pool enclosure required. Enclosure must consist of 5' to 6' tall fence or wall with a self-closing, self-latching gate.

Permitted hours and days for construction activity are 7:00 AM to 6:00 PM, Mondays through Fridays, and 9:00 AM to 5:00 PM on Saturdays, with no construction activity permitted on Sundays or on the legal holidays specified in Section 17.96.920 of the Rancho Palos Verdes Development Code. Trucks and other construction vehicles shall not park, queue and/or idle at the project site or in the adjoining public rights-of-way before 7:00 AM, Monday through Saturday, in accordance with the permitted hours of construction stated above.

The approved equipment shall maintain minimum setbacks of 3' from the rear or interior side property lines. Manufacturers' specifications shall be provided to demonstrate that the equipment will not generate noise in excess of 65dBA at the property line. (Hayward EcoStar SP3400VSPVR 58.8 dBA)

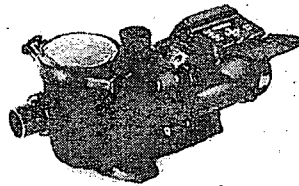
The City strongly urges the applicant for this project to contact the **Homeowners' Association** or local **Art Jury**, if any, to gain any additional approvals that may be required before applying for a building permit. A list of Homeowners' Associations is on file with the Community Development Department of Rancho Palos Verdes.

Projects involving new construction and additions or tear-down/rebuilds will require approval from the **Los Angeles County Fire Department**. Prior to planning application submittal, it is highly recommended that you take your plans to the Fire Department's Hawthorne Office to obtain their requirements, which may include costly upgrades. The LA County Fire Department Fire Prevention Division at the County of Los Angeles Fire Department is located at 4475 W. El Segundo Blvd., Hawthorne, CA 90250-4411. You can also call them at (310) 973-3044 to discuss submittal requirements.


For Community Development Director

9/28/17
Date

THIS APPROVAL SHALL BE NULL AND VOID AFTER **March 27, 2018** UNLESS THE APPROVED PLANS ARE SUBMITTED TO BUILDING AND SAFETY TO INITIATE THE "PLAN CHECK" REVIEW PROCESS. THIS APPROVAL SHALL ALSO BECOME NULL AND VOID IF AFTER INITIATING THE "PLAN CHECK" REVIEW PROCESS OR RECEIVING A BUILDING PERMIT TO BEGIN CONSTRUCTION, SAID PERMIT OR "PLAN CHECK" IS ALLOWED TO EXPIRE OR IS WITHDRAWN BY THE APPLICANT.



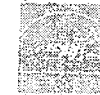
Other Views



EcoStar® Variable Speed

Product Description

Hayward EcoStar® variable-speed pool pumps provide best in class energy efficiency for most any pool and spa combination, including upgrading the majority of single speed models up to 3 horsepower (hp). Designed for medium to large pools, they can save up to 90% on energy costs or as much as \$1500 per year, compared with single speed pool pumps.



EcoStar SVRS (Safety Vacuum Release System) provides an added layer of protection against suction entrapment without additional equipment, plumbing or wiring.

Features:

- Permanent magnet, totally enclosed fan cooled (TEFC) motor delivers maximum energy efficiency and reliability
- Exceptionally quiet compared to single speed pumps
- Fully programmable, touch pad control can be rotated to four different positions or mounted to the wall for more convenient access
- Universal compatibility: operates independently with Hayward automation, or with competitive systems (via relay control)
- No-rib, extra-large basket design ensures easy leaf and debris removal and extends time between cleanings
- SVRS model meets or exceeds all relevant ASME/ANSI standards as required by the Virginia Graeme Baker Pool and Spa Safety Act

[Energy Calculator](#)

[Utility Rebates](#)

[Learn More About Our Variable Speed Pool Pumps](#)

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[Energy Efficient Pool Equipment Helps You Save](#)

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Select 2-4 items to compare

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[Filter Models](#)

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[Total Horsepower Any](#)

[Union Conn/Port Size Any](#)

[Energy Star Any](#)

[Model](#)

[Description](#)

[Ctn. Qty.](#)

[Ctn. Weight](#)

[Select](#)

[SP340VSP](#)

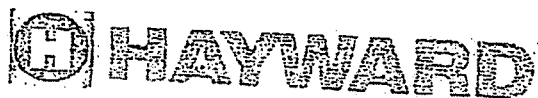
[EcoStar Variable Speed](#)

[Compare](#)

[SP340VSPVR](#)

[EcoStar SVRS Variable Speed](#)

[Compare](#)



Sound Data

<u>Pump Family</u>	<u>Model</u>	<u>Rated HP</u>	<u>Service Factor</u>	<u>Total HP</u>	<u>SPL dB(A)</u>
TriStar	SP3207EE	0.75	1.85	1.39	55.5
TriStar	SP3210EE	1	1.85	1.85	56.2
TriStar	SP32102EE *	1	1.85	1.85	56.2
TriStar	SP3215EE	1.5	1.60	2.40	58.3
TriStar	SP32152EE *	1.5	1.60	2.40	58.3
TriStar	SP3220EE	2	1.35	2.70	58.8
TriStar	SP32202EE	2	1.35	2.70	58.8
TriStar	SP3230EE	3	1.20	3.60	59.6
EcoStar	SP3400VSP *	2	1.35	2.70	58.8
EcoStar	SP3400VSPVR *	2	1.35	2.70	58.8

* At 3450 RPM for two-speed for variable speed models

APPLICANT/CONTRACTOR:Name: GARY GARCIAAddress: 9054 Amorita AvePeasbush CA 91377Phone: 661 510 8352

Email: _____

Project Location: 5901 WaukeshaProject Description: Pool remodel AND SPA**LANDOWNER:**Name: David ChojeAddress: 5901 Waukesha PlaceTRPhone: 310-720-527

Email: _____

GENERAL INFORMATION

1. _____ Maximum height of project, measured from the finished grade adjacent to the structure to the highest point of the structure.
2. _____ Square footage of project.
3. Distance of project to property lines: Front: _____ Side: _____ Street-Side: _____ Rear: _____
4. Are any of the following conditions proposed? ☐ Yes ☐ No
 - Total volume of earth to be moved (sum of cut and fill) is 20 cubic yards or greater.
 - Height of fill or depth of cut is 3 feet or greater.
 If yes, a separate Grading Application is required.
5. Does the project involve any work, activity, or encroachment in the public right-of-way or in a public drainage structure? ☐ Yes ☐ No
If yes, you must obtain approval from the Public Works Department prior to issuance of building permits.

Information to Determine if a Foliage Analysis is Necessary

Does the proposed project involve an addition or structure which is 120 square feet or more in size and which can be used as a gathering space and viewing area (i.e., decks, covered patios)? ☐ YES ☐ NO

If the answer is "yes" to this question, a foliage analysis must be conducted by Staff **prior to approval of the Site Plan Review Application** to determine if any existing foliage on the applicant's property, which exceeds 16 feet or the ridgeline of the primary residence, whichever is lower, impairs a view from any surrounding properties

I HEREBY CERTIFY, under penalty of perjury, that the information and materials submitted with this application are true and correct.

Signature of Applicant/Contractor Gary GarciaDated: 9.27.17Signature of Landowner David ChojeDated: 9.15.17**CONTRACTORS PLEASE READ AND INITIAL:**

I UNDERSTAND that in order to perform work in the City of Rancho Palos Verdes, a business license must be obtained from the City's Finance Department prior to obtaining a building permit from the Building and Safety Division. JS (initials)



City of RANCHO PALOS VERDES

Community Development Department

SITE PLAN REVIEW APPLICATION - MINOR

This Site Plan Review Application is required for construction of the following minor residential improvements:

- Chimneys
- Roof pitch modifications
- Minor equipment (enclosed water heaters, A/C units, pool equipment, etc.)
- Skylights, solar panels or any other roof-mounted equipment which extends less than 6" from the roof surface
- Garden windows
- Deck structures less than 30 inches in height from existing adjacent grade and uncovered
- Any other improvement which does not involve new habitable space, which cannot be used as a gathering space and viewing area, and which does not constitute lot coverage

IMPORTANT

- If unsure of any of the City's requirements in areas relating to the proposed development, it is suggested that the planning department be contacted before going to the expense of having plans drawn. Preliminary discussions with the City's Planning staff may reveal potential conflicts with the City's Development Code.
- When filing your application, make certain the entire uniform application is completed and that all the required submittal materials are included, **OTHERWISE THE APPLICATION MAY NOT BE ACCEPTED FOR FILING.**
- Pursuant to Section 17.86.050 of the RPVMC, **THE CITY WILL NOT ACCEPT ANY DEVELOPMENT APPLICATION(S) FOR A LOT OR PARCEL THAT IS IN VIOLATION OF THE CITY'S MUNICIPAL CODE, UNLESS AN APPLICATION IS SUBMITTED TO CORRECT A VIOLATION.**
- Notice: CC&R's are private restrictions or agreements. Therefore the City is not responsible for a property owner's compliance with any CC&R's that may govern their property and the City does not enforce private CC&R's. The City recommends that property owners review their title report to see if any CC&R's govern their property, and if so, consult such CC&R's prior to submittal of their application. Additionally, property owners should review their title report for any other private property restrictions (Deed Restriction, Private Easement, etc.) that may govern their property.

In order to process your application without unnecessary delay, these are the materials you must submit:

- A completed and signed (by applicant & property owner) application.
- Three (3) copies of a site plan indicating:
 1. Accurate lot dimensions, all property lines and, if applicable, all easements on the lot.
 2. The adjacent street right-of-way and the access driveway of the lot.
 3. If applicable, topography of the lot indicated by either elevation call-outs or topographic contours.
 4. The location and dimensions of all existing and proposed structures (delineate existing and proposed).
 5. The distance from all existing and proposed structures to the property lines.
- Three (3) copies of the elevations indicating:
 1. The maximum height of the proposed structure, measured from highest point of existing grade covered by the structure to the ridge of the structure (including any roof tiles, roof shingles or other proposed roof material).
- **Mechanical Equipment:** If your application requests approval of mechanical equipment within an interior side yard or rear yard setback area, then submit the equipment's manufacturer's specifications that show that the equipment will not generate a noise level higher than 65 dBA.

Required Application Filing Fees:

- _____ \$139 for the Site Plan Review Application Fee (includes \$4 Data Processing Fee)
- _____ \$198 for a Foliage Analysis
- _____ \$18 fee for Historical Data Input (one time fee per property)

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to California Government Code Section 65962.5(f), before a city can accept as complete an application for any development project which will be used by any person, the applicant shall consult the lists sent to the appropriate city or county and shall submit a signed statement to the city indicating whether the project and any alternatives located on a site that is included on any of the lists compiled and shall specify any list.

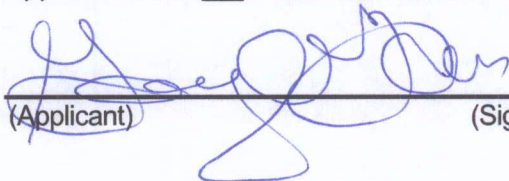
The California Environmental Protection Agency (Cal/EPA) has compiled lists of Hazardous Waste and Substances Sites for the entire State of California. The current lists for the City of Rancho Palos Verdes, retrieved from the Cal/EPA web site on August 22, 2012, are within the following chart:

IMPACT CITY: RANCHO PALOS VERDES

STREET ADDRESS	CURRENT USE	FORMER USE	ENVIROSTOR ID
30940 HAWTHORNE BLVD.	City Hall / Civic Center	Nike Missile System	19970023

Please be aware that Cal/EPA updates these lists periodically, and it is the applicant's responsibility to check the most recent lists. If the project site and any alternatives proposed in the application are not contained in the most current Cal/EPA lists, please certify that fact as provided below. If the development project and any alternatives proposed in this application are contained in the most current Cal/EPA lists, please complete the statement on the next page.

I have consulted the most current lists compiled pursuant to Section 65962.5 of the Government Code and hereby certify that the development project and any alternatives proposed in this application are not contained on these lists.



(Applicant)

(Signature)

9.27.17

(Date)



City of Rancho Palos Verdes
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275

Fees Associated With
Case #: ZON2017-00442

9/28/2017
3:18:56PM

OWN
JASON CHOICE
5901 WAUKESHA PL
RANCHO PALOS VERDES, CA 90275

OWN
ALLISON KIRBYS
5901 WAUKESHA PL
RANCHO PALOS VERDES, CA 90275

Fee Type	Start Date	End Date	Dept	Description	Trans Code	Revenue Account Number	Created By	Date	Amount	Due
SPR	5/18/2009	12/31/2020		Site Plan Review (Minor)		132210	JC	9/28/2017	135.00	135.00
Subtotal for Revenue Acct. 132210									135.00	
DATA	5/18/2009	12/31/2020		Data Processing Fee		322-40	JC	9/28/2017	4.00	4.00
Subtotal for Revenue Acct. 322-40									4.00	

Total Due: **\$139.00**

For Office Use Only

Receipt No. _____ Check No. _____

CITY OF RANCHO PALOS VERDES

*** CUSTOMER RECEIPT ***

Oper: NANCY Type: RG Drawer: 1
Date: 9/28/17 01 Receipt no: 1191

Description	Quantity	Amount
PC	BBS PLAN CHECK	
	1.00	\$350.00
DP	PLANNING DATA PROCESSING	
	1.00	\$4.00
PZ	PLANNING & ZONING	
	1.00	\$135.00
DP	PLANNING DATA PROCESSING	
	1.00	\$4.00

BLD 2017 894

ZON 2017 442

PAID BY AVANTI POOLS INC

Tender detail

CK CHECK	22864	\$493.00
Total tendered		\$493.00
Total payment		\$493.00

Trans date: 9/28/17 Time: 15:42:22

*** THANK YOU FOR YOUR PAYMENT ***

30940 HAWTHORNE BLVD
RANCHO PALOS VERDES CA 90275
(310) 377-0360



CITY OF RANCHO PALOS VERDES
PLANNING CLEARANCE

Community Development Department
Planning Division
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275
(310) 544-5228 FAX: (310) 544-5293 E-mail: planning@rpvca.gov

PERMIT NO.: ZON2016-00018
APPLIED: 1/11/2016
ISSUED: 1/11/2016
EXPIRES: 7/9/2016

SITE ADDRESS: 5901 WAUKESHA PL

ASSESSOR'S PARCEL NO.: 7578014017

PROJECT DESCRIPTION: Proposed 91 SF entry addition with a 65 SF trellis; a (N) A/C & heating unit along the right side yard area of the single family residence.

OWNER/APPLICANT

JASON CHOICE
5901 WAUKESHA PL
RANCHO PALOS VERDES CA 90275

PRIMARY CONTACT

MARTY MIRAND
3236 SAN ANSELIN AVENUE
LONG BEACH CA 90808

TYPE OF USE: Residential, Add'n/Rem. (Single-Family) **ZONING:** RS-5 (Single-Fam. 5 DU/ac)

APPLICATION TYPE(S): Site Plan Review

FEES

Type	By	Date	Amount
DATA	ML	1/11/2016	\$4.00
SPRM	ML	1/11/2016	\$326.00
Total:			\$330.00

NOTES:

CONDITIONS OF APPROVAL

This approval is for a 91 SF entry addition with a 65 SF trellis; a (N) A/C & heating unit along the right side yard area of the single family residence.

The approved project shall maintain the setbacks depicted on the stamped approved plans, but in no case shall minimum setbacks be less than the following: 20' front, 15' rear and 5' sides.

The height of the approved project shall be as depicted on the stamped approved plans, and in no case shall the maximum height of any new construction exceed 16' above the existing pad elevation.

The approved project shall maintain a maximum of 52% lot coverage. (Proposed: 51.7%)

Construction of the approved project shall substantially comply with the plans originally stamped APPROVED on January 11, 2016, and with the RS-5 district and site development standards of the Rancho Palos Verdes Development Code.

In the event that a Planning Division and a Building Division requirement are in conflict, the stricter standard shall apply.



CITY OF RANCHO PALOS VERDES
PLANNING CLEARANCE

Community Development Department
Planning Division
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275
(310) 544-5228 FAX: (310) 544-5293 E-mail: planning@rpvca.gov

PERMIT NO.: ZON2016-00018
APPLIED: 1/11/2016
ISSUED: 1/11/2016
EXPIRES: 7/9/2016

The construction site and adjacent public and private properties and streets shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may include, but not be limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.

Permitted hours and days for construction activity are 7:00 AM to 6:00 PM, Mondays through Fridays, and 9:00 AM to 5:00 PM on Saturdays, with no construction activity permitted on Sundays or on the legal holidays specified in Section 17.96.920 of the Rancho Palos Verdes Development Code. Trucks and other construction vehicles shall not park, queue and/or idle at the project site or in the adjoining public rights-of-way before 7:00 AM, Monday through Saturday, in accordance with the permitted hours of construction stated above.

Exterior residential lighting shall be in compliance with the standards of Section 17.56.030 of the Rancho Palos Verdes Development Code.

The approved project is exempt from the requirement for a foliage analysis because the proposed addition (proposed: 91 SF) is less than 120 SF in size and the proposed trellis (proposed 65 SF) is also under 120 SF in size.

The approved project is exempt from the requirement for a neighborhood compatibility analysis.

At least 50% of the existing interior and exterior walls or existing square footage of the structure shall be retained by the approved project. Otherwise, any nonconformities existing at the time of Planning approval shall be corrected as a part of the project. In addition, neighborhood compatibility analysis will be required if not conducted as a part of the original Planning approval.

The proposed A/C and heating unit shall comply with the required side and/or rear setbacks.

The proposed A/C unit shall be screened from view from adjacent public right-of-way with foliage or other appropriate screening.

The proposed water heater enclosure shall comply with the required minimum side and/or rear setback requirements.

The City strongly urges the applicant for this project to contact the **Homeowners' Association** or local **Art Jury**, if any, to gain any additional approvals that may be required before applying for a building permit. A list of Homeowners' Associations is on file with the Community Development Department of Rancho Palos Verdes.

Projects involving new construction and additions or tear-down/rebuilds will require approval from the **Los Angeles County Fire Department**. Prior to planning application submittal, it is highly recommended that you take your plans to the Fire Department's Hawthorne Office to obtain their requirements, which may include costly upgrades. The LA County Fire Department Fire Prevention Division at the County of Los Angeles Fire Department is located at 4475 W. El Segundo Blvd., Hawthorne, CA 90250-4411. You can also call them at (310) 973-3044 to discuss submittal requirements.



CITY OF RANCHO PALOS VERDES
PLANNING CLEARANCE

Community Development Department
Planning Division
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275
(310) 544-5228 FAX: (310) 544-5293 E-mail: planning@rpvca.gov

PERMIT NO.: ZON2016-00018
APPLIED: 1/11/2016
ISSUED: 1/11/2016
EXPIRES: 7/9/2016



For Community Development Director

1.11.16

Date

THIS APPROVAL SHALL BE NULL AND VOID AFTER July 9, 2016 UNLESS THE APPROVED PLANS ARE SUBMITTED TO BUILDING AND SAFETY TO INITIATE THE "PLAN CHECK" REVIEW PROCESS. THIS APPROVAL SHALL ALSO BECOME NULL AND VOID IF AFTER INITIATING THE "PLAN CHECK" REVIEW PROCESS OR RECEIVING A BUILDING PERMIT TO BEGIN CONSTRUCTION, SAID PERMIT OR "PLAN CHECK" IS ALLOWED TO EXPIRE OR IS WITHDRAWN BY THE APPLICANT.



City of Rancho Palos Verdes
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275

Fees Associated With
Case #: ZON2016-00018

1/11/2016
11:33:20AM

OWN
JASON CHOICE
5901 WAUKESHA PL
RANCHO PALOS VERDES, CA 90275

OWN
ALLISON KIRBYS
5901 WAUKESHA PL
RANCHO PALOS VERDES, CA 90275

APL
MARTY MIRAND
3236 SAN ANSELIN AVENUE
LONG BEACH, CA 90808

Fee Type	Start Date	End Date	Dept	Description	Trans Code	Revenue Account Number	Created By	Date	Amount	Due
SPRM	11/8/2010	12/31/2020		Site Plan Review (Major)		132210	ML	1/11/2016	326.00	326.00
Subtotal for Revenue Acct. 132210									326.00	
DATA	5/18/2009	12/31/2020		Data Processing Fee		322-40	ML	1/11/2016	4.00	4.00
Subtotal for Revenue Acct. 322-40									4.00	

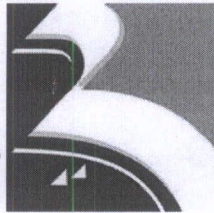
Total Due: **\$330.00**

For Office Use Only

Receipt No. 2719 Check No. 1150

DS-5

City of



RANCHO PALOS VERDES

Community Development Department

30940 Hawthorne Blvd, Rancho Palos Verdes, CA 90275
Phone: (310) 544-5228 Fax: (310) 544-5293
planning@rpv.com www.palosverdes.com/rpv

RESIDENTIAL PLANNING APPLICATION

Planning Case No: 20160016-00018 (To be assigned by City Staff)

Project Address: 5901 WAUKESHA PLACE

APPLICATION(S) (Please check all that apply):

<input checked="" type="checkbox"/> Site Plan Review Major <u>\$306</u>	<input type="checkbox"/> Grading Permit	<input type="checkbox"/> Height Variation
<input type="checkbox"/> Extreme Slope Permit	<input type="checkbox"/> Fence, Wall and Hedge Permit	<input type="checkbox"/> Revision/Amendment
<input type="checkbox"/> Coastal Permit Appealable or Non-appealable?	<input type="checkbox"/> Minor Exception Permit	<input type="checkbox"/> Variance
<input type="checkbox"/> Landslide Moratorium Exception	<input type="checkbox"/> Geologic Investigation Permit	<input type="checkbox"/> Conditional Use Permit
<input checked="" type="checkbox"/> Other Application: <u>\$4.00 Processing Fee</u>		
Additional Reviews: <input checked="" type="checkbox"/> Neighborhood Compatibility Analysis <input checked="" type="checkbox"/> Foliage Analysis <u>Exempt</u>		

CONTACT INFORMATION

PROPERTY OWNER:

Name JASON / ALLISON KIRBY
Address 1331 23rd St
City MANHATTAN BEACH State CA Zip 90266
Telephone 310-720-5271
Email ALLIEKIRBY@YAHOO.COM

APPLICANT:

Name MARTY MIRAND
Address 3236 SAN ANSELMO AVE
City LONG BEACH State CA Zip 90808
Telephone 562-547-6364
Email marty@ihadesigninc.com

City Business License No. (Required for architects and design professionals) _____

PROJECT DESCRIPTION (Use additional paper, if needed)

91 SF ENTRY ADDITION, 65 SF FRONT PORCH TRELLIS, REMODEL KITCHEN/ALL
BEDROOM AND BATHS, CONVERT FAMILY RM AND 2 BEDR INTO M. SUITE
NEW AC/HEAT/WH, ALL NEW WINDOWS, 200A UPGRADE, ALTER
ROOF (3) AREAS, REROOF AND (2) NEW FIREPLACE (GAS)

PROJECT INFORMATION

A. EXISTING DEVELOPMENT

- 16,740 1. Square footage of Lot
- 3606 2. Square footage of total existing floor area:
First Story 3,023 Second Story Ø Garage 458 Other 125
(accessory structures)
- 3606 3. Square footage of existing structure **footprint** (including any accessory structures, attached or detached)
5044
4. Square footage of driveways, parking areas and impervious surfaces
(EXEMPT: impervious surfaces less than 5 feet in width and/or one patio areas less than 500 square feet in areas)
- 8650 5. Square footage of existing lot coverage [line A3 + line A4]
- 51.7% 6. Percentage of existing lot coverage [line A5 + line A1 x 100]
- 11'-5" 7. Height of existing structure, as measured from highest point of exist. grade covered by structure to the highest ridgeline (for structures on sloping lots, please refer to the Height Variation guidelines handout for height require.)

B. PROPOSED Development

- 156 1. Square footage of proposed new floor area:
First Story 91 Second Story Ø Garage Ø Other 65
(accessory structures)
- 3762 2. TOTAL square footage of structure **footprint** (existing + new)
4888
3. TOTAL square footage of driveways, parking areas and impervious surfaces (existing + new)
(EXEMPT: impervious surfaces less than 5 feet in width and/or one patio areas less than 500 square feet in areas)
- 8650 4. TOTAL square footage of proposed lot coverage [line B2 + line B3]
- 51.7% 5. Percentage of new lot coverage [line B4 + line A1 x 100]
- 14'-2" 6. Height of proposed structure, as measured from highest point of exist. grade covered by structure to the highest ridgeline (for structures on sloping lots, please refer to the Height Variation guidelines handout for height restrictions)
7. Linear feet of existing interior and exterior walls 668'-5" Linear feet of walls to be demolished 280'-1"
(If demolishing 25% or more)

C. GRADING INFORMATION

Cubic yards of: Fill _____ + Cut _____ = TOTAL _____

Maximum height of: Fill _____ Cut (to bottom of footing) _____

Cubic yards of: Import _____ Export _____

D. HEIGHT VARIATION EARLY NEIGHBORHOOD CONSULTATION PROCESS

- _____ 1. Number of individual parcels under separate ownership within **500 foot radius** of subject parcel
- _____ 2. Number of individual parcels under separate ownership within **100 foot radius** of subject parcel
- _____ 3. Number of total signatures within 500 foot radius _____ Percentage of total (D1 + D3 x 100)
- _____ 4. Number of total signatures within 100 foot radius _____ Percentage of total (D2 + D4 x 100)

INFORMATION TO DETERMINE IF A FOLIAGE ANALYSIS IS NECESSARY

1. Does the proposed project involve an addition or structure which is 120 square feet or more in size and which can be used as a gathering space and viewing area (i.e., decks, covered patios)? Yes ☐ No ☒
2. Does the proposed project involve an addition or structure which consists of 120 square feet or more of habitable space (i.e., room expansions, additions, conversions)? Yes ☐ No ☒

If the answer is "yes" to either question, a foliage analysis must be conducted by staff to determine if any existing foliage on the applicant's property which exceeds 16 feet or the ridgeline of the primary residence, whichever is lower, impairs a view from any surrounding properties.

PROJECT SILHOUETTE WAIVER (Required for Neighborhood Compatibility Analysis & Height Variation)

I, _____, am the owner of property located at _____
(property owner) (project address)

in the City of Rancho Palos Verdes and wish to apply to the City for permission to construct:

(brief project description)

I understand that, pursuant to Section 17.02.040(C)(1)(d), I must construct and maintain a temporary frame as a visual aid for evaluating the impacts of the proposed structure. I hereby waive any claim against the City of Rancho Palos Verdes for any damage or injury caused by the construction of the frame or by any subsequent failure of the frame.

Property Owner Signature: _____

HAZARDOUS WASTE & SUBSTANCE STATEMENT (REQUIRED FOR ALL PROJECTS)

Pursuant to California Government Code Section 65962.5(f), before a city can accept as complete an application for any development project which will be used by any person, the applicant shall consult the lists sent to the appropriate city or county and shall submit a signed statement to the city indicating whether the project and any alternatives located on a site that is included on any of the lists compiled and shall specify any list.

The California Environmental Protection Agency (Cal/EPA) has compiled lists of Hazardous Waste and Substances Sites for the entire State of California, which identifies the following site in Rancho Palos Verdes (as of 8/22/2012):

30940 Hawthorne Blvd

City Hall / Civic Center

Envirostor ID 19970023

I have consulted the most current lists compiled pursuant to Section 65962.5 of the Government Code and hereby certify that the development project and any alternatives proposed in this application are not contained on these lists.

Property Owner Signature: _____

PROPERTY OWNER'S CERTIFICATION (REQUIRED)

I hereby certify, under penalty of perjury, that the information and materials herein and submitted with this application are true and correct.

Property Owner Signature: _____

Date: 1/10/10



RANCHO PALOS VERDES

January 19, 1989

Current Owner
5901 Waukesha Place
Rancho Palos Verdes, CA 90274

SUBJECT: Expiring Permit Number 4851 and 4678

Dear Property Owner:

A review of our files indicates that the permit issued for plumbing work and to do misc. remodeling on your property will soon expire. If permits are allowed to expire then additional fees are required in order to complete the process of City approvals. Please contact the Building and Safety Division within 10 working days to schedule the next required inspection.

Sincerely,

Julie Peterson

Julie Peterson
Inspection Scheduling Clerk
(213) 541-7702

cc: active file

CITY OF RANCHO PALOS VERDES

CLEARANCE

PROJECT LOCATION: 5901 Waukesha

LOT AND TRACT NO.: Lot 7 TR 24423

OWNER'S NAME: Bleuett & Campos

AND ADDRESS: same as above

PROJECT NO.: MEP 247

PROJECT DESCRIPTION: new garage with reduced front yard setback.

Approval is granted subject to the following conditions:

1. Min. front yard setback: 16'-0"
2. Min. side yard setback: 5'-0"
3. Max. Height from grade to ridge line: 12'-0"
4. No plumbing permitted in garage.
5. Min. inside clear dimension: 18' x 20'
(two car garage)

THIS FORM, ALONG WITH THE TWO COPIES OF THE APPROVED PLANS, MUST BE SUBMITTED WHEN APPLYING FOR A BUILDING PERMIT.

The City strongly urges the applicant for this project to contact the Homeowners Association or local Art Jury, if any, to gain any additional approvals that may be required before applying for a building permit. Homeowners Associations are on file with the Environmental Services Department of Rancho Palos Verdes.

Dump Deposit Required NO

Dump Deposit
Receipt No.: _____

By: Carolynn Wilken
For Director of Environmental Services
City of Rancho Palos Verdes

City of Rancho Palos Verdes
30940 Hawthorne Boulevard
(213) 377-0360

Dated: 8/10/87
APPROVAL VOID AFTER 180 DAYS

Application Number: MINOR EXCEPTION PERMIT NO. 247

Related Applications: _____

Date Received: 5/11/86 Fee Received: \$140

Name (landowner): Janis Blewett/Seana Campos

Project Address: 5901 Waukesha

ENVIRONMENTAL REQUIREMENTS

Date

7/16/87

Categorically Exempt (Class 3)

STAFF ACTION

5-28-87

Notices mailed

7/22/87

Staff Site Visit

7/24/87

Notices mailed (approved with conditions)

EC OR PC ACTION

COUNCIL ACTION



RANCHO PALOS VERDES

Mayor MELVIN W. HUGHES

Mayor Pro Tem ROBERT E. RYAN

Councilwoman JACKI BACHARACH

Councilman DOUGLAS M. HINCHLIFFE

Councilman JOHN C. McTAGGART

City Manager DENNIS McDUFFIE

July 24, 1987

N O T I C E

NOTICE IS HEREBY GIVEN that the City of Rancho Palos Verdes has approved a request for Minor Exception Permit No. 247 for property located at 5901 Waukesha.

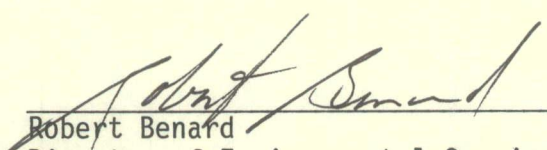
Applicant: Janis Blewett and Seana Campos

Said approval is for a 20% reduction in the required front yard setback, from a 20 feet to 16 feet to allow construction of a detached two car garage. The approval is conditioned upon the following:

1. The maximum height shall not exceed 12 feet.
2. No plumbing is permitted in the structure.

Any interested person may appeal this decision in writing to the Planning Commission within fifteen calendar days of this notice. Said appeal must be accompanied by \$185.00 appeal fee.

If you have any questions concerning this matter, please contact Carolyn Wilker of this office.


Robert Benard

Director of Environmental Services

RB:jp

APPLICANT:

JANIS L. BLEWETT
SEANA & PHILIP CAMPOS

HOMEOWNERS' ASSOCIATION:

NO HOMEOWNER'S
ASSOCIATION

PROJECT NUMBER:

NUMBER NAME ADDRESS CITY, STATE, ZIP CODE	1 THOMAS & INGE THORSEN 5909 WAUKESHA PLACE RANCHO PALOS VERDES, CA 90274	2 HERBERT & SALLY BERES 5902 WAUKESHA PLACE RANCHO PALOS VERDES, CA 90274
NUMBER NAME ADDRESS CITY, STATE, ZIP CODE	3 WILLIAM & EILEEN SCHUH 5859 FINECREST DRIVE RANCHO PALOS VERDES, CA 90274	4 VERN & ELSIE STANGE 5853 FINECREST DRIVE RANCHO PALOS VERDES, CA 90274
NUMBER NAME ADDRESS CITY, STATE, ZIP CODE	5 MR. & MRS. B. WOHLSCHICSS 5845 FINECREST DRIVE RANCHO PALOS VERDES, CA 90274	6 CURTIS & NANCY HOFFMAN 5839 FINECREST DRIVE RANCHO PALOS VERDES, CA 90274
NUMBER NAME ADDRESS CITY, STATE, ZIP CODE	7 RONALD & TONI PIZER 5906 CLINT PLACE RANCHO PALOS VERDES, CA 90274	8 BERNARD QUINN 5910 CLINT PLACE RANCHO PALOS VERDES, CA 90274
NUMBER NAME ADDRESS CITY, STATE, ZIP CODE	9 CHARLOTTE DEAN 5916 CLINT PLACE RANCHO PALOS VERDES, CA 90274	10 MR. & MRS. DANNY LAJEUNESSE 5924 CLINT PLACE RANCHO PALOS VERDES, CA 90274
	SEANA & PHILIP CAMPOS 5901 WAUKESHA PLACE R.P.V., CA 90274	Janis L. Blewett 5901 Waukesna Plce R.P.V., CA 90274
	DAVID P JAMES 1407 19th St. M.B. Ca 90266	

BOB-

7/22

The subject property is a flag lot. The new garage will not be visible from the street. Most of the garage is outside the setback; only the southwest corner of the building encroaches into the 20' setback. No significant impact to adjacent properties: The garage will not block views or invade privacy of the neighbors.

RECOMMENDATION: Approval, subject to conditions outlined in notice.

-CW

concur - (AN)
7/23/87



RANCHO PALOS VERDES

Mayor MELVIN W. HUGHES

Mayor Pro Tem ROBERT E. RYAN

Councilwoman JACKI BACHARACH

Councilman DOUGLAS M. HINCHLIFFE

Councilman JOHN C. McTAGGART

City Manager DENNIS McDUFFIE

May 28, 1987

N O T I C E

NOTICE IS HEREBY GIVEN that the City of Rancho Palos Verdes has received a request for Minor Exception Permit No. 247 for 5901 Waukesha Place.

Applicant: Janis Blewett/Seana Campos

Said application requests approval for a 20% reduction in the required front set back, from 20 to 16 feet to allow construction of a detached garage.

The application and plans are on file in the Environmental Services Department of City Hall. Decision will be made on this application in approximately fifteen (15) calendar days.

If you have any questions concerning this matter, please contact Carolynn Wilker of this office.


Robert Benard
Director of Environmental Services

RB:jp

MINOR EXCEPTION PERMIT APPLICATION

NUMBER 247

APPLICANT/CONTRACTOR

SEANNA + PHILIP CAMPOS + JANIS BLEWETT
(name)5901 WAUKESHA PL.
(address)RANCHO PALOS VERDEStelephone: home 307-4885 work 326-4559

LANDOWNER:

JANIS L. BLEWETT / SEANNA M. CAMPOS
(name)5901 WAUKESHA PL.
(address)RANCHO PALOS VERDES, CA, 90274telephone: home 307-4885 work 326-4559Project Location: SAME AS ABOVEProject Description: LISTED BELOW

Describe in detail the type and nature of the minor exception requested. Be specific.

MINOR EXCEPTION TO SET BACKA Full 20% REDUCTIONTO Front Property line

Explain why this exception is necessary.

NECESSARY FOR 25' TURNING RADIUS
EASE OF ACCESS FROM DRIVEWAY

General Information

10' 0"120424413494

1. Maximum height of project, measured from top of lowest foundation wall to ridge.
2. Square footage of project.
3. If addition, square footage of existing structure (including any covered or enclosed patios).
4. Square footage of driveways and parking areas.

General Information (continued)

- 18,750 ~~0~~
C09 ~~002~~
C02 ~~002~~
5. Square footage of lot.
 6. Percentage of existing open space.
 7. Percentage of open space after development.

I HEREBY CERTIFY, under penalty of perjury, that the information and materials submitted with this application are true and correct.

Seana M. Campos
Phil Campos AND Janis L. Blewett
Signature of Applicant/Contractor Signature of Landowner
Dated: 3/10/87 Dated: 3/10/87

CONTRACTORS PLEASE READ AND INITIAL:

I UNDERSTAND that in order to perform work in the City of Rancho Palos Verdes, a business license must be obtained from the City's Administrative Services Department prior to obtaining a building permit from the Building and Safety Division.

_____(initials)____

Shu Rubin
Staff Signature

Date Accepted:

5/11/87

LOT TYPE:

- ☐ Upslope
☐ Downslope
☒ Pad



RANCHO PALOS VERDES

FEE RECEIPT FORM

30940 HAWTHORNE BOULEVARD
RANCHO PALOS VERDES, CA 90274
(213) 377-0360RECEIVED OF
PAYER:

PHILIP & SEANA CAMPOS

TELEPHONE

377-4885

ADDRESS:

5901 Waukeshia Place

CITY

R.P.V.

ZIP

JOB OWNER:

Phillip & Seana Campos

JOB ADDRESS

OR TRACT NO.:

OWNER'S ADDRESS:

5901 Waukeshia Place -
Janice & BlewettVALIDATION
(OFFICE
USE ONLY)

05/11/87 RPV

D137200

\$AMT\$ 140.00

CHEK 140.00

8824A000 11:04

3*#

RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND	RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND
PLANNING APPLICATION <u>MEP # 247</u>	<u>140-</u>	<u>1-37200</u>	<input type="checkbox"/> PLAN CHECK FEE _____ (Type)		
DOCUMENT/PRINTING			<input type="checkbox"/> OTHER _____		
PARKLAND FEE Project # _____			<input type="checkbox"/> OTHER _____		
DUMPING DEPOSIT			ENVIRONMENTAL EXCISE TAX		
BUSINESS LICENSE			Check No. <u>1657</u>	TOTAL <u>\$140.00</u>	
PENALTY					
BOND DEPOSIT					
Calculated by <u>[Signature]</u>	Received by <u>[Signature]</u>				

CITY OF RANCHO PALOS VERDES

CLEARANCE

PROJECT LOCATION: 5901 Waukesha

LOT AND TRACT NO.: _____

OWNER'S NAME: Blewett

AND ADDRESS: same

PROJECT NO.: SPR 4026

PROJECT DESCRIPTION: addition to SFR and new detached garage.

Approval is granted subject to the following conditions:

1. **16 FT. MAX. HEIGHT**
CRITICAL ← residence
CERTIFICATION REQUIRED
12' max. for detached garage
2. Level ground - no grading proposed
3. Setbacks: Garage: 20' front setback
5' interior side yard.
4. Construction to conform to approved plans

THIS FORM, ALONG WITH THE TWO COPIES OF THE APPROVED PLANS, MUST BE SUBMITTED WHEN APPLYING FOR A BUILDING PERMIT.

The City strongly urges the applicant for this project to contact the Homeowners Association or local Art Jury, if any, to gain any additional approvals that may be required before applying for a building permit. Homeowners Associations are on file with the Environmental Services Department of Rancho Palos Verdes.

Dump Deposit Required NO

Dump Deposit
Receipt No.: _____

By: Carolynn Wilken-Roesch
For Director of Environmental Services
City of Rancho Palos Verdes

City of Rancho Palos Verdes
30940 Hawthorne Boulevard
(213) 377-0360

Dated: 3/27/87
APPROVAL VOID AFTER 180 DAYS

SITE PLAN REVIEW APPLICATION NUMBER 4026

APPLICANT/CONTRACTOR:

Sterling Const
(name)

140 + 19th St
(address)

MB C 90244

telephone: home 545-8510

work 546-5304

LANDOWNER:

Janice Blewett
(name)

5901 Waukesha
(address)

Rancho Palos Verdes

telephone: home 377-4885

work

Project Location:

5901 Waukesha Place

Project Description:

Addition to Existing Structure

General Information:

- 18'-6" 1. Maximum height of project, measured from top of lowest
16'-0" foundation wall to ridge.
16'-0" Maximum height of project above finished grade.
1183 S.F. 2. Square footage of project.
2272 S.F. 3. If addition, square footage of existing structure (in-
cluding any covered or enclosed patios).
3150 S.F. 4. Square footage of driveways and parking areas.
18080 S.F. 5. Square footage of lot.
72 % 6. Percentage of existing open space.
63.5 % 7. Percentage of open space after development.
N.A. 8. Maximum height of any proposed walls.

Grading Information:

If any of the following conditions are proposed, a Grading Application is required.

- Total volume of earth to be moved (sum of cut and fill) is 20 cubic yards or greater.
- Height of fill is 3 feet or greater.
- Depth of cut is 3 feet or greater.

less than 16'

1. Total volume of earth to be moved (sum of cut and fill, in cubic yards).
2. Maximum height of fill.
3. Maximum depth of cut.

Does the project involve any work, activity, or encroachment in the public right-of-way or public drainage structure? _____
If so, you must obtain approval from the public Works Department prior to issuance of construction permits.

I hereby certify, under penalty of perjury, that the information and materials submitted with this application are true and correct.

Seana M. Campos
Signature of Applicant/Contractor

J. Blawett
Signature of Landowner

Dated: 3/27/86

Dated: 3/27/86

CONTRACTORS PLEASE READ AND INITIAL:

I UNDERSTAND that in order to perform work in the City of Rancho Palos Verdes, a business license must be obtained from the City's Administrative Services Department prior to obtaining a building permit from the Building and Safety Division.

(initials)

CHECK LIST

FOR CLOSE-OUT OF ACTIVE APPLICATION FILES

- A ✓ Approve plans noting expiration date and fill out clearance forms.
- A ✓ Toss multiple copies of attachments to staff reports.
- A ✓ Toss unnecessary sheets of plans and old plans.
- A N/A Note to Dept. Secretary if penalty fee has not been deducted or collected.
- A ✓ Note closing date/action.
- B N/A Minutes/signed resolution/staff reports included in file.
- B N/A Remove Geo reports - file in Geology.
- C N/A Memo to Finance to close TD account.
(____ Need for penalty fee deduction/transfer?)

- A PLANNER
- B PLANNING CLERICAL (Mary Lou)
- C DEPT. SECRETARY (Priscilla)



CITY OF RANCHO PALOS VERDES
PLANNING CLEARANCE

Community Development Department
Planning Division
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275
(310) 544-5228 FAX: (310) 544-5293 E-mail: planning@rpvca.gov

PERMIT NO.: ZON2017-00442
APPLIED: 9/28/2017
ISSUED: 9/28/2017
EXPIRES: 3/27/2018

SITE ADDRESS: 5901 WAUKESHA PL
ASSESSOR'S PARCEL NO.: 7578014017
PROJECT DESCRIPTION: Approval only for pool remodel and new spa within existing pool footprint and pool equipment located within setback area.

<u>OWNER/APPLICANT</u> JASON CHOICE 5901 WAUKESHA PL RANCHO PALOS VERDES CA 90275	<u>PRIMARY CONTACT</u>
--	------------------------

TYPE OF USE:	ZONING: RS-5 (Single-Fam. 5 DU/ac)
APPLICATION TYPE(S): Site Plan Review	

FEES			
Type	By	Date	Amount
DATA	JC	9/28/2017	\$4.00
SPR	JC	9/28/2017	\$135.00
Total:			\$139.00

NOTES:

CONDITIONS OF APPROVAL

This approval is only for a pool remodel and new spa within existing pool footprint and pool equipment located within setback area.

Prior to building permit issuance and/or commencement of grading, whichever occurs first, the applicant shall obtain approval of a haul route from the Director of Public Works.

Construction of the approved project shall substantially comply with the plans originally stamped APPROVED on 9/28/2017, and with the RS- district and site development standards of the Rancho Palos Verdes Development Code.

In the event that a Planning Division and a Building Division requirement are in conflict, the stricter standard shall apply.

The construction site and adjacent public and private properties and streets shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may include, but not be limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or



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(310) 544-5228 FAX: (310) 544-5293 E-mail: planning@rpvca.gov

PERMIT NO.: ZON2017-00442
APPLIED: 9/28/2017
ISSUED: 9/28/2017
EXPIRES: 3/27/2018

other household fixtures.

The approved project shall maintain the setbacks depicted on the stamped approved plans, but in no case shall minimum setbacks be less than 3' from the rear or interior side property lines.

Except for excavation of the pool and/or spa, no grading is permitted by this approval.

Pool enclosure required. Enclosure must consist of 5' to 6' tall fence or wall with a self-closing, self-latching gate.

Permitted hours and days for construction activity are 7:00 AM to 6:00 PM, Mondays through Fridays, and 9:00 AM to 5:00 PM on Saturdays, with no construction activity permitted on Sundays or on the legal holidays specified in Section 17.96.920 of the Rancho Palos Verdes Development Code. Trucks and other construction vehicles shall not park, queue and/or idle at the project site or in the adjoining public rights-of-way before 7:00 AM, Monday through Saturday, in accordance with the permitted hours of construction stated above.

The approved equipment shall maintain minimum setbacks of 3' from the rear or interior side property lines. Manufacturers' specifications shall be provided to demonstrate that the equipment will not generate noise in excess of 65dBA at the property line. (Hayward EcoStar SP3400VSPVR 58.8 dBA)

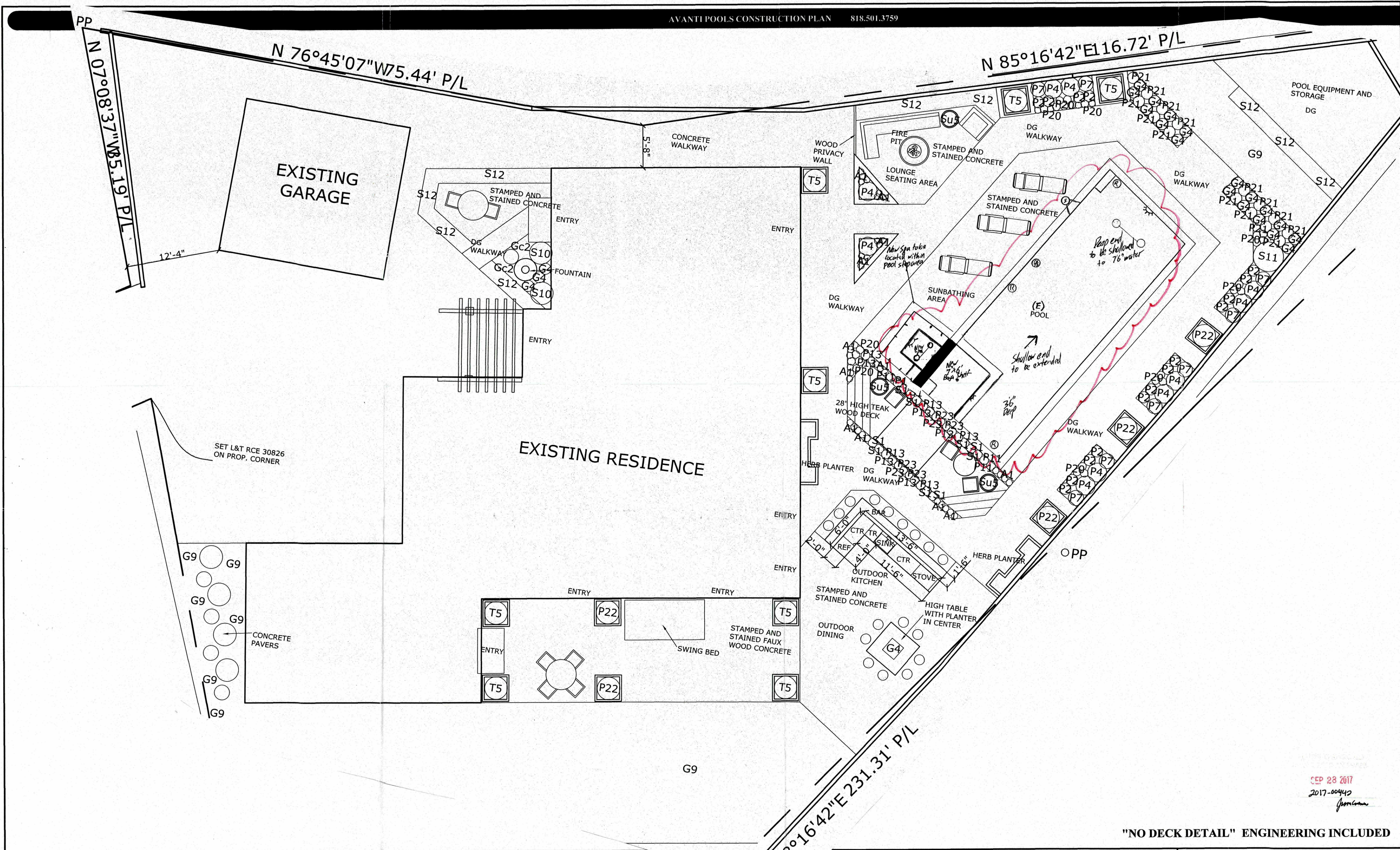
The City strongly urges the applicant for this project to contact the **Homeowners' Association** or local **Art Jury**, if any, to gain any additional approvals that may be required before applying for a building permit. A list of Homeowners' Associations is on file with the Community Development Department of Rancho Palos Verdes.

Projects involving new construction and additions or tear-down/rebuilds will require approval from the **Los Angeles County Fire Department**. Prior to planning application submittal, it is highly recommended that you take your plans to the Fire Department's Hawthorne Office to obtain their requirements, which may include costly upgrades. The LA County Fire Department Fire Prevention Division at the County of Los Angeles Fire Department is located at 4475 W. El Segundo Blvd., Hawthorne, CA 90250-4411. You can also call them at (310) 973-3044 to discuss submittal requirements.


For Community Development Director

9/28/17
Date

THIS APPROVAL SHALL BE NULL AND VOID AFTER **March 27, 2018** UNLESS THE APPROVED PLANS ARE SUBMITTED TO BUILDING AND SAFETY TO INITIATE THE "PLAN CHECK" REVIEW PROCESS. THIS APPROVAL SHALL ALSO BECOME NULL AND VOID IF AFTER INITIATING THE "PLAN CHECK" REVIEW PROCESS OR RECEIVING A BUILDING PERMIT TO BEGIN CONSTRUCTION, SAID PERMIT OR "PLAN CHECK" IS ALLOWED TO EXPIRE OR IS WITHDRAWN BY THE APPLICANT.



POOL SPECIFICATIONS	
DEPTH:	3'6" x 7'6"
MAX WIDTH:	16
MAX LENGTH:	35
CODE:	
POOL CAPACITY GALLONS:	30,000
TILE SIZE 6" WATERLINE:	TBD
BENCHES:	Loop end bench
POPING TYPE:	Fixed in Place 16mm
SPA SPECIFICATIONS	
SPA SIZE:	6x7'
SPA HEIGHT:	+0"
SPA DEPTH:	existing
TOTAL JETS:	Six
SPA SPILLWAY:	3" lowered down
SPLIT BENCH:	Yes
SPA VENEER:	Wood Panel
MISC:	
DECK NOTES	
DECK INCLUDED:	Coping Only, bound in Place
DECK MATERIAL:	Dark Grey concrete
SQUARE FOOTAGE:	
DRAINAGE:	
MISC:	
MISC:	
POOL SPA EQUIPMENT	
CIRCULATION PUMP:	Hayward Escalor
FILTER:	Hayward C-525
CLEANER PUMP:	Polaris Booster
WATER FEATURE PUMP:	N/A
SPA PUMP:	N/A
HEATER:	Hayward 400
CLEANER:	Polaris 3800 w/ booster
SANITATION UNIT:	Hayward Salt
CONTROLS:	Omni Logic
POOL REMOTE:	with enabled
SPA REMOTE:	N/A
START UP KIT:	
SALT:	400 lbs
POOL LIGHTS:	Hayward UCL Pool
SPA LIGHTS:	Hayward UCL
POOL COVER:	N/A
WATER FEATURES:	N/A
MISC:	Hayward UCL Spa light or Baja Steel
MISC:	
GENERAL SPECIFICATIONS	
SAW CUT:	N/A
STUB PLUMB:	Yes
TRACTOR SIZE:	N/A
TREE REMOVAL:	N/A # SIZE
ACCESS FENCE REMOVAL BY:	N/A
REPLACEMENT BY:	Owner
SUPERVISOR:	Henry Altamirano
WOOD EQUIP. FENCE:	By Owner
SIDE AREA EQUIPMENT:	No
EASEMENTS:	
MISC:	
MISC:	

MAP DETAIL

NOTES

HYDRAULICS

PUMP CAPACITY: 100 GPM
FILTER RATE: 120 GPM
TURNOVER: 6 HOURS
VACUUM LINE AND SKIMMER: 1.5"
SKIMMER: 2.5"
RETURN LINE: Three 2"
MAIN DRAIN LINE: Two 2"
FILL LINE FROM HOSE BIB: auto 3/4"
GAS LINE SIZE: existing CONTRACT FT.
MISC:

OWNER:

POOL AREA TO BE FENCED PER CITY ORDINANCE. GATES TO BE SELF CLOSING AND SELF LATCHING.

OWNER:

WET DOWN GUNITE/SHOTCRETE SHELL AT LEAST TWICE A DAY FOR 7 DAYS. DO NOT USE RUBBER HOSE WHEN FILLING POOL AS IT WILL LEAVE MARKS. DO NOT TURN ON POOL LIGHT WHEN POOL IS EMPTY

NOTE

I HAVE RECEIVED A COPY OF THIS PLAN AND HEREBY APPROVE POOL, POOL ELEVATION AND EQUIPMENT LOCATION

X

CUSTOMER SIGNATURE

DATE

SCALE 1/8" = 1.0' APPROX.

AVANTI POOLS INC.

AVANTI POOLS INC.

8138 ORION AVE.

VAN NUYS, CA. 91406

818.501.3759 / FAX: 818.501.5128

www.avantipoolsandspas.com

email: avantipools@sbcglobal.net

CUSTOMER INFORMATION

CUST. NAME: Chavez, Jason & Kelly Altamirano

ADDRESS: 5901 Waukesha Place

CITY: Rancho Palos Verdes

STATE / ZIP CODE: 90275

HOME PHONE #:

CELL #: (310) 720-5271 (530) 902-4667

CROSS STREETS:

ALT. CONTACT:

ALT. PHONE #:



CITY OF RANCHO PALOS VERDES
PLANNING CLEARANCE

Community Development Department
Planning Division
30940 Hawthorne Blvd.
Rancho Palos Verdes, CA 90275
(310) 544-5228 FAX: (310) 544-5293 E-mail: planning@rpvca.gov

PERMIT NO.: ZON2016-00018
APPLIED: 1/11/2016
ISSUED: 1/11/2016
EXPIRES: 7/9/2016

SITE ADDRESS: 5901 WAUKESHA PL

ASSESSOR'S PARCEL NO.: 7578014017

PROJECT DESCRIPTION: Proposed 91 SF entry addition with a 65 SF trellis; a (N) A/C & heating unit along the right side yard area of the single family residence.

OWNER/APPLICANT

JASON CHOICE
5901 WAUKESHA PL
RANCHO PALOS VERDES CA 90275

PRIMARY CONTACT

MARTY MIRAND
3236 SAN ANSELIN AVENUE
LONG BEACH CA 90808

TYPE OF USE: Residential, Add'n/Rem. (Single-Family) **ZONING:** RS-5 (Single-Fam. 5 DU/ac)

APPLICATION TYPE(S): Site Plan Review

FEES

Type	By	Date	Amount
DATA	ML	1/11/2016	\$4.00
SPRM	ML	1/11/2016	\$326.00
Total:			\$330.00

NOTES:

CONDITIONS OF APPROVAL

This approval is for a 91 SF entry addition with a 65 SF trellis; a (N) A/C & heating unit along the right side yard area of the single family residence.

The approved project shall maintain the setbacks depicted on the stamped approved plans, but in no case shall minimum setbacks be less than the following: 20' front, 15' rear and 5' sides.

The height of the approved project shall be as depicted on the stamped approved plans, and in no case shall the maximum height of any new construction exceed 16' above the existing pad elevation.

The approved project shall maintain a maximum of 52% lot coverage. (Proposed: 51.7%)

Construction of the approved project shall substantially comply with the plans originally stamped APPROVED on January 11, 2016, and with the RS-5 district and site development standards of the Rancho Palos Verdes Development Code.

In the event that a Planning Division and a Building Division requirement are in conflict, the stricter standard shall apply.



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(310) 544-5228 FAX: (310) 544-5293 E-mail: planning@rpvca.gov

PERMIT NO.: ZON2016-00018
APPLIED: 1/11/2016
ISSUED: 1/11/2016
EXPIRES: 7/9/2016

The construction site and adjacent public and private properties and streets shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may include, but not be limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.

Permitted hours and days for construction activity are 7:00 AM to 6:00 PM, Mondays through Fridays, and 9:00 AM to 5:00 PM on Saturdays, with no construction activity permitted on Sundays or on the legal holidays specified in Section 17.96.920 of the Rancho Palos Verdes Development Code. Trucks and other construction vehicles shall not park, queue and/or idle at the project site or in the adjoining public rights-of-way before 7:00 AM, Monday through Saturday, in accordance with the permitted hours of construction stated above.

Exterior residential lighting shall be in compliance with the standards of Section 17.56.030 of the Rancho Palos Verdes Development Code.

The approved project is exempt from the requirement for a foliage analysis because the proposed addition (proposed: 91 SF) is less than 120 SF in size and the proposed trellis (proposed 65 SF) is also under 120 SF in size.

The approved project is exempt from the requirement for a neighborhood compatibility analysis.

At least 50% of the existing interior and exterior walls or existing square footage of the structure shall be retained by the approved project. Otherwise, any nonconformities existing at the time of Planning approval shall be corrected as a part of the project. In addition, neighborhood compatibility analysis will be required if not conducted as a part of the original Planning approval.

The proposed A/C and heating unit shall comply with the required side and/or rear setbacks.

The proposed A/C unit shall be screened from view from adjacent public right-of-way with foliage or other appropriate screening.

The proposed water heater enclosure shall comply with the required minimum side and/or rear setback requirements.

The City strongly urges the applicant for this project to contact the **Homeowners' Association** or local **Art Jury**, if any, to gain any additional approvals that may be required before applying for a building permit. A list of Homeowners' Associations is on file with the Community Development Department of Rancho Palos Verdes.

Projects involving new construction and additions or tear-down/rebuilds will require approval from the **Los Angeles County Fire Department**. Prior to planning application submittal, it is highly recommended that you take your plans to the Fire Department's Hawthorne Office to obtain their requirements, which may include costly upgrades. The LA County Fire Department Fire Prevention Division at the County of Los Angeles Fire Department is located at 4475 W. El Segundo Blvd., Hawthorne, CA 90250-4411. You can also call them at (310) 973-3044 to discuss submittal requirements.



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PERMIT NO.: ZON2016-00018
APPLIED: 1/11/2016
ISSUED: 1/11/2016
EXPIRES: 7/9/2016

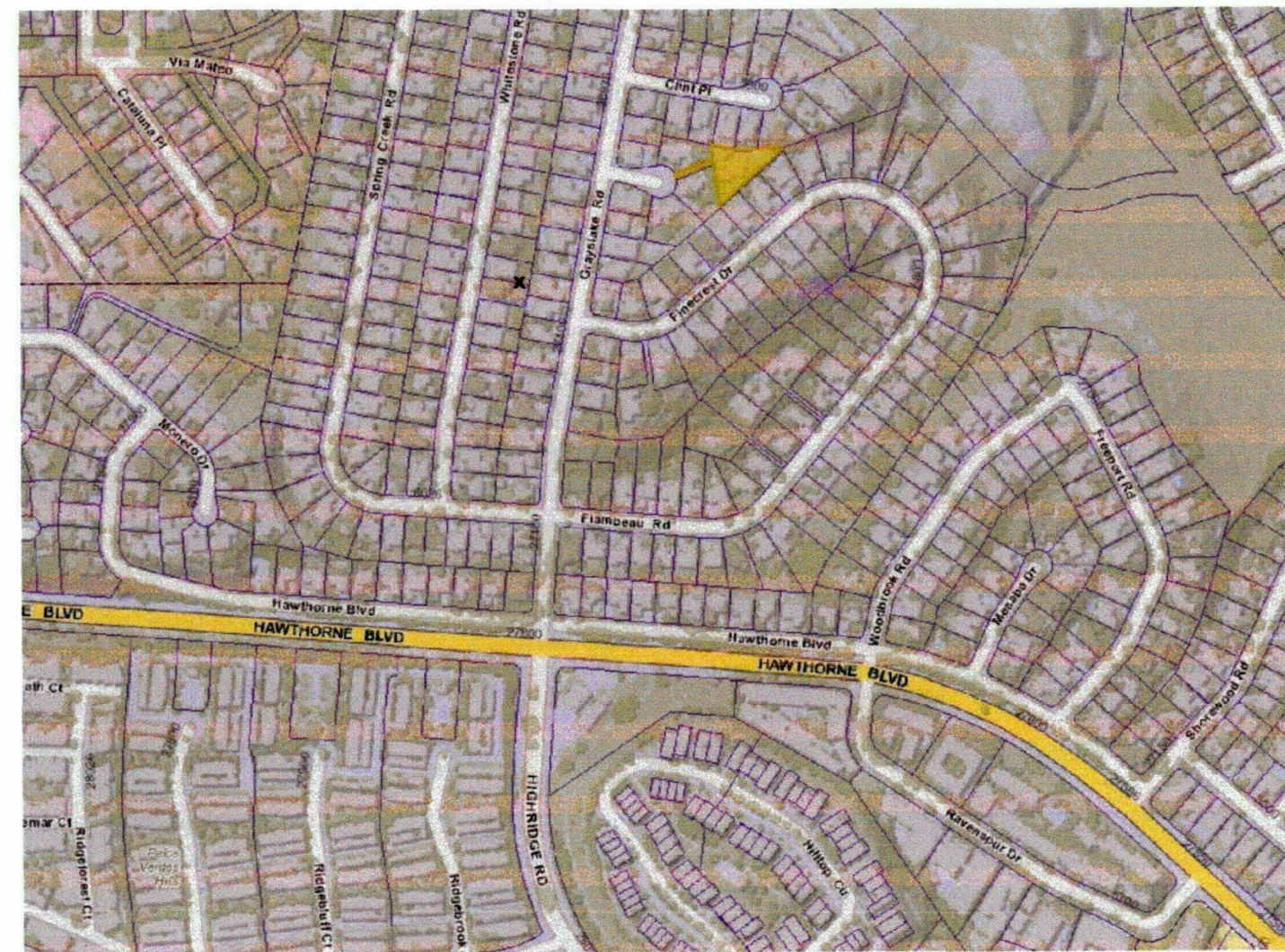
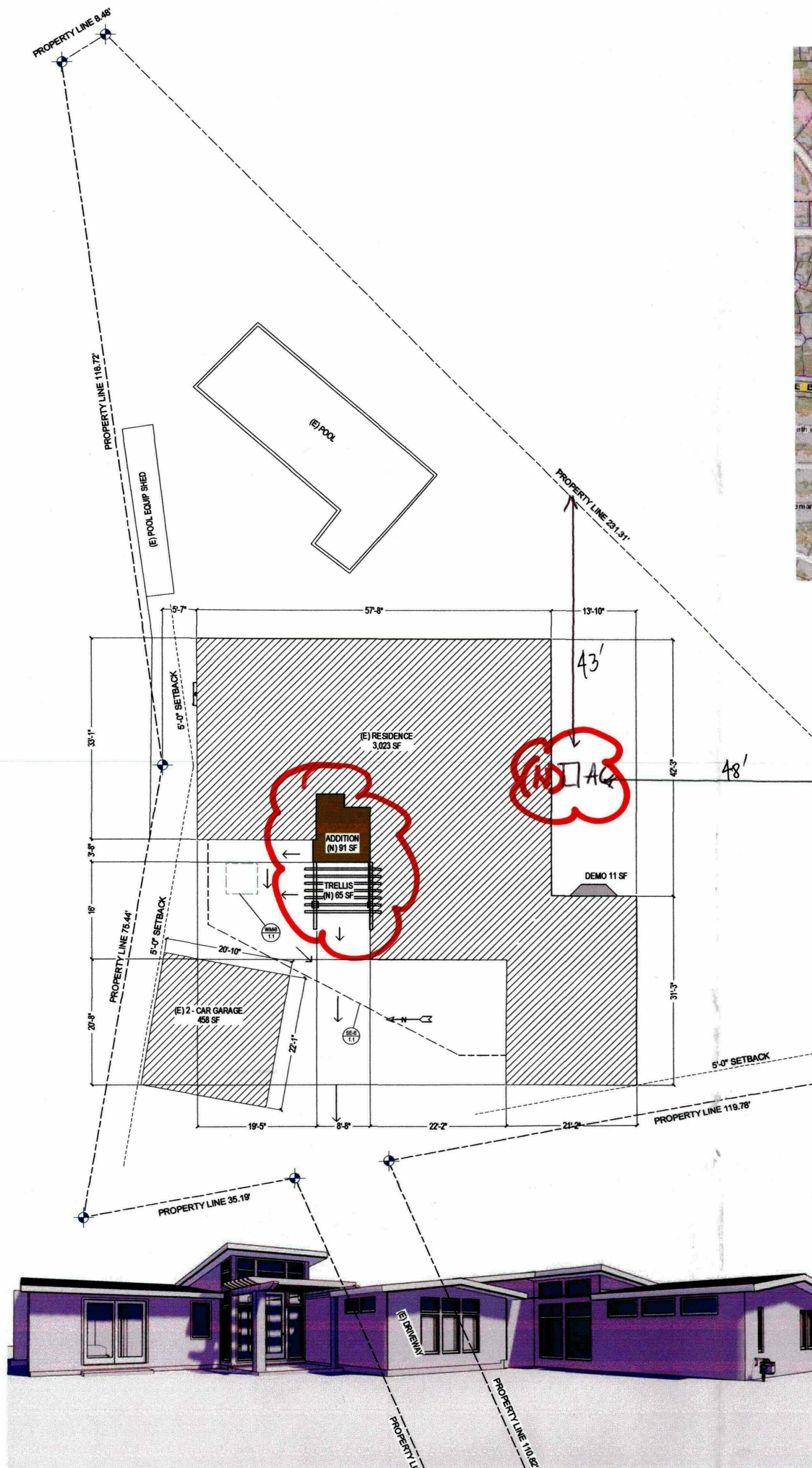
A handwritten signature in black ink, appearing to be "M. J. [unclear]".

For Community Development Director

1-11-16

Date

THIS APPROVAL SHALL BE NULL AND VOID AFTER **July 9, 2016** UNLESS THE APPROVED PLANS ARE SUBMITTED TO BUILDING AND SAFETY TO INITIATE THE "PLAN CHECK" REVIEW PROCESS. THIS APPROVAL SHALL ALSO BECOME NULL AND VOID IF AFTER INITIATING THE "PLAN CHECK" REVIEW PROCESS OR RECEIVING A BUILDING PERMIT TO BEGIN CONSTRUCTION, SAID PERMIT OR "PLAN CHECK" IS ALLOWED TO EXPIRE OR IS WITHDRAWN BY THE APPLICANT.



LOT MAP

PLOT PLAN NOTES

1. FINISH GRADE AROUND THE NEW STRUCTURE/ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
2. ALL REQUIRED YARDS AND SETBACK AREAS SHALL BE ATTRACTIVELY LANDSCAPED PRIMARILY WITH LIVE PLANT MATERIAL. ALL LANDSCAPED AND PAVED AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION WITH HEALTHY LANDSCAPING FREE OF WEEDS AND LITTER.
3. METERS AND SERVICE LINES CANNOT BE LOCATED IN OR UNDER ANY STRUCTURE OR IN AN INACCESSIBLE LOCATION.
4. HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET, MIN 4" HIGH BY 1" WIDE.
5. FINISH GRADE WITHIN 10' OF THE NEW STRUCTURE/ADDITION SHALL BE SLOPED A MINIMUM 5% AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
6. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

Project No. 2014-2016-2018
APPROVED BY THE PLANNING DIVISION
CITY OF RANCHO PALOS VERDES
Date: 1-11-18
Planner: [Signature]
It is unlawful to make any changes or alterations on this set of plans without written permission from the Planning Division. Approval is VOID after 180 days, unless otherwise specified in the Conditions of Approval.
Not valid unless accompanied by a completed Clearance Form
Approved for submittal to Building Division Plan Check [Signature]
Approved for Issuance of Building Permit [Signature]

1. CA1 Dewatering Operations - remove sediments from ground water
2. CA2 Paving Operations - reduce discharge of pollutants from paving operations.
3. CA3 Structure Construction and Painting - prevent & reduce discharge from construction sites & painting projects
4. CA10 Material Delivery and Storage - prevent & reduce discharge of pollutants to storm water from material delivery & storage.
5. CA11 Material Use - prevent & reduce discharge of pollutants to storm water from material use.
6. CA12 Spill Prevention and Control Use - prevent & reduce discharge of pollutants to storm water systems with good housekeeping.
7. CA20 Solid Waste Management Use - prevent & reduce discharge of pollutants to storm water systems from solid waste or construction
8. CA21 Hazardous Waste Management - prevent & reduce discharge of pollutants to storm water from toxic materials.
9. CA22 Contaminated Soil Management - prevent & reduce discharge of pollutants to storm water from contaminated soil
10. CA23 Concrete Waste Management - prevent & reduce discharge of pollutants to storm water from concrete waste.
11. CA24 Sanitary / Septic Waste Management - prevent & reduce discharge of pollutants to storm water sanitary & septic systems.
12. CA30 Vehicle and Equipment Cleaning - prevent & reduce discharge of pollutants to storm water from cleaning of vehicles and equipment.
13. CA31 Vehicle and Equipment Fueling - prevent & reduce discharge of pollutants to storm water from fueling of vehicles & equipment.
14. CA32 Vehicle and Equipment Maintenance - prevent & reduce discharge of pollutants to storm water from maintenance of vehicles & equipment.
15. CA40 Employee / Subcontractor Training - SWPPP Storm Water Pollution Prevention Plan.
16. ESC1 Scheduling - Sequencing the construction project to reduce the amount of soil exposed to erosion.
17. ESC2 Preservation of Existing Vegetation - minimize damage and erosion by preserving the existing vegetation.
18. ESC 10 Seeding and Planting - minimize erosion with seeding and planting.
19. ESC11 Mulching - for stabilizing cleared and freshly seeded areas.
20. ESC20 Geotextiles and Mats - for stabilization of soils
21. ESC21 Dust Controls - reduce dust and soil erosion.
22. ESC22 Temporary Stream Crossing - recommendations for installing a temporary culvert, ford or bridge.
23. ESC23 Construction Road Stabilization - recommendations for dust and erosion control.
24. ESC24 Stabilized Construction Entrances - recommendations for dust, sediment and erosion control for public streets
25. ESC30 Earth Dike - temporary berm or ridge of compacted soil.
26. ESC31 Temporary Drains and Swales - to divert off-site runoff around a construction site.
27. ESC32 Slope Drain - temporary pipe to divert runoff from the top of a slope to the bottom without causing erosion.
28. ESC40 Outlet Protection - installing rip-rap to reduce sediment in the soil.
29. ESC41 Check Dams - reduces velocity of concentrated storm water flows and reduces erosion.
30. ESC42 Slope Roughening / Terracing - creates microclimates for establishing vegetation.
31. ESC50 Silt Fence - for sedimentation control.
32. ESC51 Straw Bale Barriers - for sedimentation control.
33. ESC52 Sand Bag Barrier - for sedimentation control.
34. ESC53 Brush or Rock Filter - for sedimentation control and velocity reduction.
35. ESC54 Storm Drain Inlet Protection - devices which detain sediment laden runoff.
36. ESC55 Sediment Trap - small excavated or bermed area for sedimentation.
37. ESC56 Sediment Basin - pond created to allow excessive sediment to settle.

PLOT PLAN De' 1/16" = 1'-0"

BEST MANAGEMENT PRACTICES

1. This project shall comply with the 2013 CRC, CMC, CPC, CEC, CBC CHAPTER 7A (FIRE) 2013 CES (TITLE 24), 2013 CAL GREEN and local City Admendments and Ordinance.

2. The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particulates, construction waste materials, or waste water generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm system.

3. Contractor shall study the drawings, specifications and field conditions before commencing with the work involved. Any discrepancies found shall be reported to the designer in writing for correction or clarification.

4. Contractor to provide shoring / bracing to existing structure prior to any alteration, demolition or excavation.

NOTICE TO CONTRACTOR

5. Details / drawings shown are intended constructed conditions of the structure. Means and methods utilized by the contractor to construct shall be his responsibility, including but not limited to construction methodology, bracing, shoring, shop drawings, special fabrications, deputy inspections, material testing, ect.

6. Where discrepancies / conflicts of detail requirements, material specifications, etc., occur, the most stringent requirement shall govern. Any other details / elements shall be adjusted accordingly. See also note 3.

7. These plans are intended for use by only knowledgeable licensed contractors familiar with all applicable codes and other governmental requirements, and able willing to provide workmanship and materials of high quality. They shall be interpreted so as to incorporate all applicable building codes and other governmental requirements. All ambiguities and doubts shall be resolved, unless IHA Design specifies otherwise in writing, in favor of the construction or material of the highest quality.

8. The builder shall take full and final responsibility for constructing a final product of appropriate quality and serviceability consistent with the information and requirements contained in the construction documents or reasonably inferable there from, and/or contained in the requirements of any governmental entity with jurisdiction over the project; and this regard the builder shall take full responsibility for all construction means, methods, techniques, sequences or procedures including without limitation demolition, excavation and erection procedures; for safety precautions and programs in connection with the project; and for the timeliness or quality of all of the work performed pursuant to this agreement. In this regard, the builder shall indemnify to the fullest extent allowed by law the project's design team, and their respective officers, directors, principals and employees, of and from any and all claims, liability claims and/or losses involving and indemnities' actual or alleged active negligence or design defects, and excluding only and indemnities' sole negligence or willful misconduct.

9. Any subcontractor which agrees to construct the project pursuant to these plans fully assumes the risk of all errors and omissions which should have been detected by a careful review by a knowledgeable licensed contractor, that which for and reason were not resolved during the bidding or negotiation process. Further, the builder shall carefully review these plans as the work progresses in order to identify any significant errors and omissions and to ascertain all necessary information before proceeding with the affected work, and assumes the risk of any and all loss, including delay, which may be caused or contributed to by the failure to ascertain correct or necessary information in a timely manner.

10. The builder shall verify all conditions and dimensions in the field; and all questions as to dimension and field conditions shall be resolved before the affected work proceeds. No dimensions shall be obtained by scaling these plans.

11. The builder shall be responsible for providing and maintaining temporary water supply, light/power, toilet facilities and jobsite office with telephone and fax machine.

12. The builder shall furnish all laboratory tests, inspections and reports that are required by these plans or by law.

13. The builder shall provide shop drawings submittals for those aspects of the work identified for the trusses, floor trusses; and each submittal shall contain five copies of the involved documentation.

14. No substitutions shall be submitted to IHA Design unless it has first been approved in writing by the owner.

15. All trades shall, at all times, keep the premises free from accumulation of waste materials or rubbish caused by their work, and at the completion of the work shall remove all rubbish from and about the jobsite and all their tools, scaffolding and surplus materials and shall leave the job broom clean, including removing all labels stickers, paint smears etc. from lighting fixtures, plumbing fixtures, glass surfaces, finish hardware, cabinets, counter tops, etc.

16. IHA Design shall be notified prior to construction of any errors or omissions found on plans.

GENERAL NOTES

1. 91 SF ENTRY ADDITION.
2. 85 SF FRONT PORCH TRELLIS
3. REMODEL KITCHEN
4. REMODEL NORTH BEDROOM AND BATH
5. REMODEL POOL BATH
6. CONVERT FAMILY RM AND 2 BEDROOMS INTO MASTER SUITE
7. REMODEL 2 MIDDLE BEDROOMS AND RELOCATE ENTRY BATH
8. NEW HEATER AND AC
9. NEW WATER HEATER
10. ALL NEW WINDOWS
11. 200A PANEL UPGRADE
12. RAISE EXISTING ROOF IN THE ENTRY, KITCHEN AND M BEDR
13. REROOF
14. (2) NEW FIREPLACES

SCOPE OF WORK

1.0	PROJECT INFO AND PLOT PLAN
1.1	WASTE MANAGEMENT BOUNDARY SURVEY
1.2	2013 CALGREEN MANDATORY MEASURES
1.3	2013 CALGREEN MANDATORY MEASURES
2.0	DEMO PLAN
2.1	FLOOR PLAN
3.0	ELEVATION
3.1	ELEVATION AND SECTIONS
4.0	ROOF PLAN
5.0	REFLECTED CEILING PLAN
6.0	FIREPLACE SPECIFICATIONS
T24.1	2013 PERFORMANCE METHOD
T24.2	2013 PERFORMANCE METHOD
SN1	STRUCTURAL NOTES
SN2	STRUCTURAL NOTES
S1	FOUNDATION PLAN
S2	FRAMING PLAN
D1	STRUCTURAL DETAILS
D1	STRUCTURAL DETAILS
HFX1-FDN	HARDIE FRAMES
HFX2-FRMG	HARDIE FRAMES

SHEET INDEX



VICINITY MAP

CONTACT:	IHA DESIGN INC MARTY MIRAND 3236 SAN ANSELIN AVE LONG BEACH, CA 90808 562-547-6364 PH 562-938-8822 FAX marty@ihadesigninc.com
OWNER:	JASON & ALLISON KIRBY
ADDRESS:	5901 WAUKESHA PLACE RANCHO PALO VERDES, CA 90275 310-720-5271
LEGAL DESCRIP:	TRACT 24423 LOT 7
ASSESSOR ID:	#7578-014-017
BUILT:	1960/1970
BEDROOMS/BATHS:	6/3 (E) 4/4 (N)
LOT SIZE:	16,740 SF
ZONING:	RS-5, SINGLE FAMILY RES, R3 OCCUPANCY, TYPE VB CONST
TOTAL LIVING AREA:	EXISTING 3,023 SF NEW 91 SF TOTAL 3,114 SF
GARAGE:	458 SF 0 SF 458 SF
TOTAL BUILDING:	3,481 SF 91 SF 3,572 SF
LOT COVERAGE:	21% < 52% MAX.....OK

PROJECT INFORMATION



IHA DESIGN INC
3236 SAN ANSELIN AVE
LONG BEACH, CA 90808
562.547.6364 TEL
562.938.8822 FAX
marty@ihadesigninc.com

PROJECT NAME
91 SF ADDITION / REMODEL
KIRBY RESIDENCE
5901 WAUKESHA PL
RANCHO PALO VERDES, CA 90275

THE DESIGN, IDEAS, AND ARRANGEMENTS OF THESE PLANS ARE THE PROPERTY OF IHA DESIGN AND NO PART SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF IHA DESIGN INC.

NO.	DATE	REVISIONS	PLAN CHECK RELEASE
00			

TITLE:	PROJECT INFORMATION AND PLOT PLAN
SHEET	1.0 OF 1.0 SHEETS



HHA DESIGN INC.
3238 SAN ANSELME AVE
LONG BEACH, CA 90808
562.547.6384 TEL
562.628.8822 FAX
mhny@hhaengine.com

PROJECT NAME:

91 SF ADDITION / REMODEL

KIRBY RESIDENCE
5901 WAUKESHA PL
RANCHO PALO VERDES, CA 90275

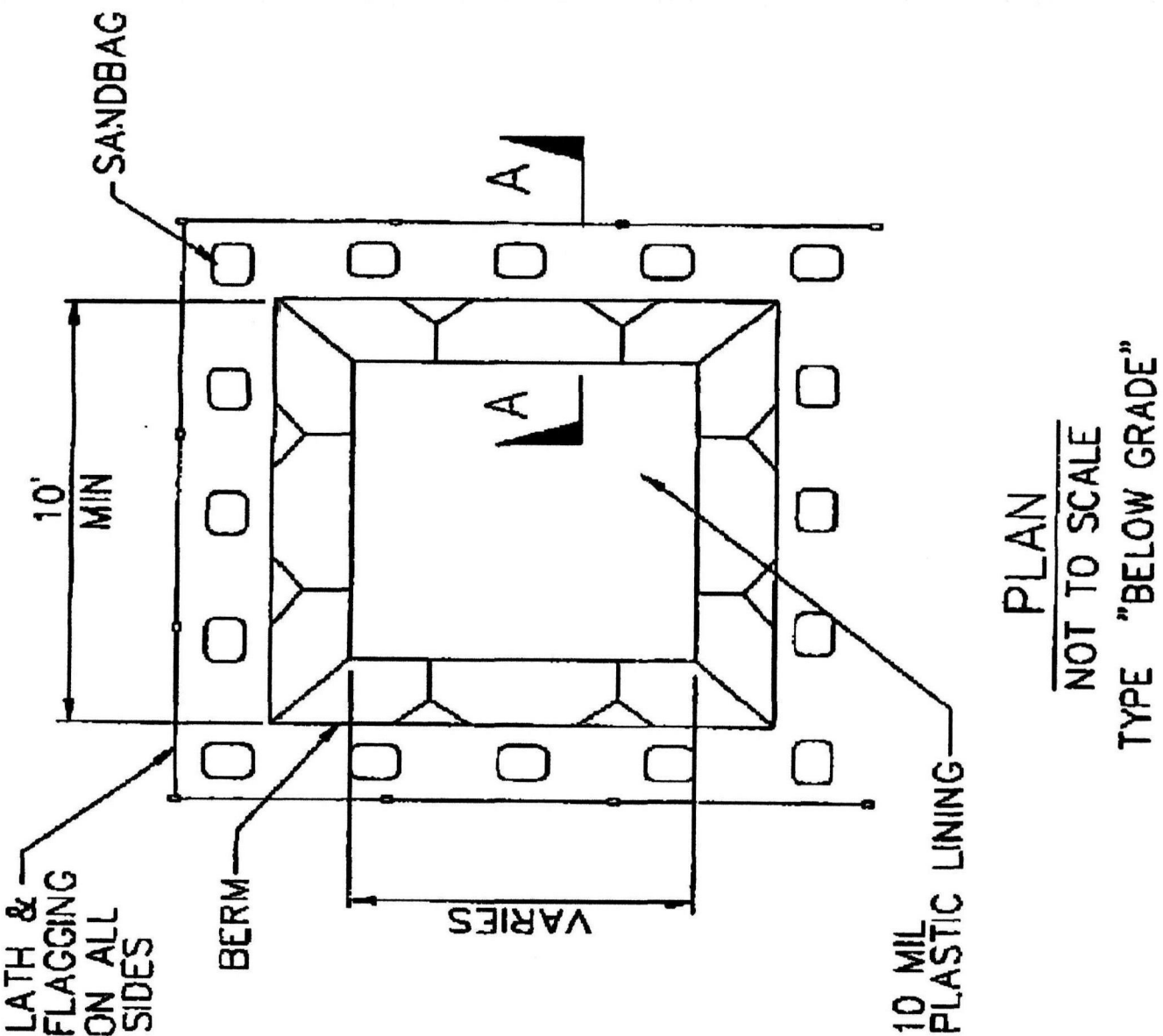
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REVISIONS		NO.	DATE
PLAN CHECK RELEASE		00	

TITLE: WASTE MANAGEMENT		
ARCH D	PROJECT NO.	DRAWN / DATE
36x24 SIZE	SCALE 1/4" = 1'-0" UNLESS OTHERWISE SPECIFIED	CHECKED / DATED

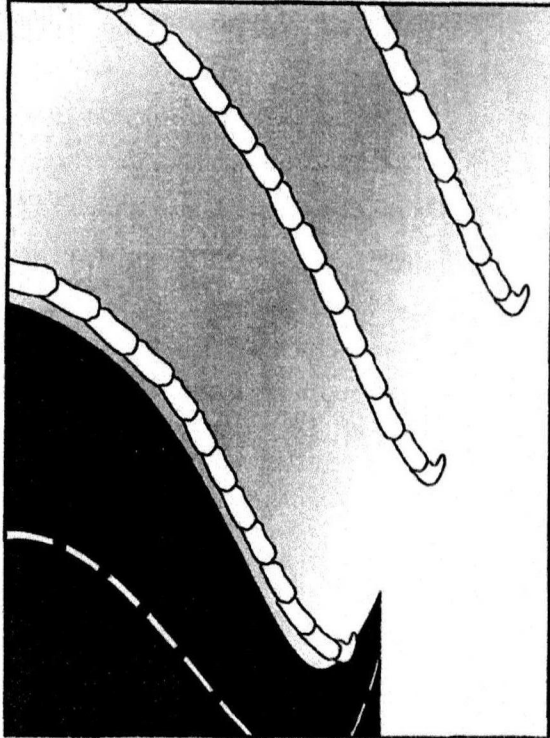
1.1
OF SHEETS

Concrete Waste Management



PLAN
SCALE 1/4" = 1'-0"

Gravel Bag Berm



Description and Purpose

A gravel bag berm is a series of gravel-filled bags placed on a level contour to intercept sheet flows. Gravel bags pond sheet flow runoff, allowing sediment to settle out, and release runoff slowly as sheet flow, preventing erosion.

Suitable Applications

Gravel bag berms may be suitable:

- As a linear sediment control measure:
 - Below the toe of slopes and erodible slopes
 - As sediment traps at culvert/pipe outlets
 - Below other small cleared areas
 - Along the perimeter of a site
 - Down slope of exposed soil areas
 - Around temporary stockpiles and spoil areas
 - Parallel to a roadway to keep sediment off paved areas
 - Along streams and channels
- As a linear erosion control measure:
 - Along the face and at grade breaks of exposed and erodible slopes to shorten slope length and spread runoff as sheet flow.

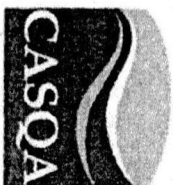
Categories	
EC	Erosion Control
SE	Sediment Control
TC	Trapping Control
WE	Wind Erosion Control
NS	Non-Stormwater Management Control
WM	Waste Management and Materials Pollution Control
Legend:	
<input checked="" type="checkbox"/>	Primary Category
<input checked="" type="checkbox"/>	Secondary Category

Targeted Constituents

<input checked="" type="checkbox"/>	Sediment
	Nutrients
	Trash
	Metals
	Bedrock
	Oil and Grease
	Organics

Potential Alternatives

SE-1	Silt Fence
SE-5	Filter Roll
SE-8	Sanding Barrier
SE-14	Buffer Bags



November 2009
California Stormwater BMP Handbook
Construction
www.casqa.org

CASQA
CALIFORNIA STORMWATER QUALITY ASSOCIATION
1 of 4

TO FOUND PK&W LS 5411 @ MOSSBANK DRIVE
PER PWFB 0317-1313,1314

CLINT PLACE

FOUND S&W LS 5411
PER PWFB 0317-670,671

GRAYSLAKE ROAD

WAUKESHA PLACE

FOUND S&W LS 5411
PER PWFB 0317-672,673

SET L&T RCE 30826
1.00' SW'LY OF CORNER
ON PROP. LINE PROD.

SET L&T RCE 30826
1.00' SW'LY OF CORNER
ON PROP. LINE PROD.

SET L&T RCE 30826
ON TOP OF BLOCK WALL
3.00' E'LY OF CORNER
ON N'LY PROP. LINE

SET N&T RCE 30826
2.00' S'ELY OF CORNER
ON PROP. LINE PROD.

FOUND L&T LS 4142
0.09' S'LY & 0.05' E'LY
OF PROP. CORNER

EXISTING GARAGE

EXISTING RESIDENCE

SET L&T RCE 30826
ON PROP. CORNER

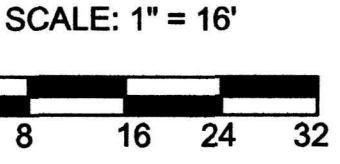
FOUND REMAINS OF OLD STK
SET ON PROPERTY CORNER
IN FOOTING OF FENCE POST

LEGEND

- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BEGINNING OF CURB RETURN
- CENTERLINE
- EASTERLY
- ELECTRIC METER
- FOUND
- FINISH FLOOR
- FIRE HYDRANT
- FLOW LINE
- GAS METER
- GUY WIRE
- LEAD AND TAG
- MANHOLE
- NORTHERLY
- PROPERTY CORNER / PROP. CORNER
- PROPERTY LINE / PROP. LINE
- POWER POLE
- SPIKE AND WASHER
- SOUTHERLY
- SPIKE
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER MANHOLE
- STAKE
- STREET LIGHT
- TOP OF CURB
- TOP OF WALL
- TOP OF DRIVEWAY APRON
- WESTERLY
- WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-9433. M-F 8:00 AM TO 5:00 PM.



JOB ADDRESS
5901 WAUKESHA PLACE
RANCHO PALOS VERDES, CA 90275

LEGAL DESCRIPTION
LOT 7,
TRACT NO. 24423,
M.B. 643-10-13,
APN 7578-014-017

NOTE:
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY BE ON SAID PROPERTY.

BOUNDARY SURVEY
FOR
ALLISON KIRBY & JASON CHOICE
1331 23RD STREET
MANHATTAN BEACH, CA 90266
310-720-5271

DRAWN BY: KW	CHECKED BY: TS / MW	DATE: 6-19-2015
ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL RELIEVE DENN ENGINEERS FROM ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEYS FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.		REV

GARY J. ROEHL	R.C.E. 30826	JOB NO. 15-276
		SHEET 1
		OF 1

3914 DEL AMO BLVD, SUITE 921 * TORRANCE, CA 90503 * (310) 542-9433

INSPECTOR SIGNOFF

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings or high-rise residential buildings or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

ABBREVIATION DEFINITIONS:

HCD Department of Housing and Community Development
BSC California Building Standards Commission
DSA-SS Division of the State Architect, Structural Safety
OSHPO Office of Statewide Health Planning and Development
LR Low Rise
HR High Rise
AA Additions and Alterations
N New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES
DIVISION 4.1 PLANNING AND DESIGN

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.

2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.

3. Compliance with a lawfully enacted storm water management ordinance.

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:
1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE (MINIMUM STANDARDS FOR ENERGY EFFICIENCY). For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.5 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 4.01.1 of the California Plumbing Code.

INSPECTOR SIGNOFF

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE	
FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	2.0 GPM @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.5 GPM @ 60 PSIMIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.25 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.5 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 IRRIGATION CONTROLLERS. Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:

1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.

2. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input. Note: More information regarding irrigation controller function and specifications is available from the Irrigation Association.

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annual spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 50 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Exceptions: 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycling facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed four (4) lbs./sq.ft. of the building area shall meet the minimum 50% construction waste reduction requirement in Section 4.408.14.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. [HR] Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed two (2) lbs./sq.ft. of the building area shall meet the minimum 50% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4. Notes: 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the lifecycle of the structure. 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least five feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this [California Green Building Standards] code.

INSPECTOR SIGNOFF

CHAPTER 3
GREEN BUILDING
SECTION 301 GENERAL

DIVISION 4.5 ENVIRONMENTAL QUALITY

4.503 FIREPLACES

4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504 POLLUTANT CONTROL

4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.

4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.
4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(c)(2) and (d)(2) of the California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product containers.

TABLE 4.504.1 - ADHESIVE VOC LIMIT^{1,2}

(Less Water and Less Exempt Compounds in Grams per Liter)

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.
2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.5 - FORMALDEHYDE LIMITS¹

MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION

PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD ²	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.
2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

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TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{2,3}

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ¹	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

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THESEALANT VOC LIMITS

TABLE 4.504.2 - SEALANT VOC LIMIT

(Less Water and Less Exempt Compounds in Grams per Liter)

SEALANTS	CURRENT VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS^{2,3}

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS

COATING CATEGORY	CURRENT VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS ¹	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE
3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

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301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.

301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.

301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings or high-rise residential buildings or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.

SECTION 302 MIXED OCCUPANCY BUILDINGS

302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.

ABBREVIATION DEFINITIONS:

HCD Department of Housing and Community Development
BSC California Building Standards Commission
DSA-SS Division of the State Architect, Structural Safety
OSHPO Office of Statewide Health Planning and Development
LR Low Rise
HR High Rise
AA Additions and Alterations
N New

CHAPTER 4
RESIDENTIAL MANDATORY MEASURES
DIVISION 4.1 PLANNING AND DESIGN

4.106 SITE DEVELOPMENT

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.

2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.

3. Compliance with a lawfully enacted storm water management ordinance.

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:
1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

DIVISION 4.2 ENERGY EFFICIENCY

4.201 GENERAL

4.201.1 SCOPE (MINIMUM STANDARDS FOR ENERGY EFFICIENCY). For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

4.303 INDOOR WATER USE

4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of urinals shall not exceed 0.5 gallons per flush.

4.303.1.3 Showerheads.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.5 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 4.01.1 of the California Plumbing Code.

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NOTE:
THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

TABLE - MAXIMUM FIXTURE WATER USE	
FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	2.0 GPM @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.5 GPM @ 60 PSIMIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.25 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.5 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 IRRIGATION CONTROLLERS. Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:

1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.

2. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input. Note: More information regarding irrigation controller function and specifications is available from the Irrigation Association.

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE

4.406.1 RODENT PROOFING. Annual spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING

4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 50 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Exceptions: 1. Excavated soil and land-clearing debris. 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycling facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste material collected will be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed four (4) lbs./sq.ft. of the building area shall meet the minimum 50% construction waste reduction requirement in Section 4.408.14.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. [HR] Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed two (2) lbs./sq.ft. of the building area shall meet the minimum 50% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4. Notes: 1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: 1. Directions to the owner or occupant that the manual shall remain with the building throughout the lifecycle of the structure. 2. Operation and maintenance instructions for the following: a. Equipment and appliances, including water-saving devices and systems, HVAC systems, water-heating systems and other major appliances and equipment. b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. d. Landscape irrigation systems. e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations. 4. Public transportation and/or carpool options available in the area. 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve water. 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least five feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc. 9. Information about state solar energy and incentive programs available.

<div>INSPECTOR SIGNOFF</div> <div></div>	<div>DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)</div> <div>4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350). 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold. 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program. 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with one or more of the following: 1. VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products compliant with CHPS criteria certified under the Greenguard Children & Schools program. 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1, February 2010 (also known as Specification 01350). 4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following: 1. Product certifications and specifications. 2. Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269 or European E363S standards. 5. Other methods acceptable to the enforcing agency. 4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code. 4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section. 4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following: 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional. 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code. 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified. 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure. 4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in) Notes: 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination. 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code. 4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2004 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2009 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2004 (Residential Equipment Selection), or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.</div>	<div>INSPECTOR SIGNOFF</div> <div></div>	<div>CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS</div> <div>702 QUALIFICATIONS 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following: 1. State certified apprenticeship programs. 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency. 702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector: 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency. Notes: 1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS). [BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency. Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 703 VERIFICATIONS 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial performance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.</div>	<div>INSPECTOR SIGNOFF</div> <div></div>	<div>INSPECTOR SIGNOFF</div> <div></div>
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REVISIONS		PLAN CHECK RELEASE		DATE		NO.		00		TITLE: 2013 CAL GREEN STANDARDS RESIDENTIAL MANDATORY MEASURES, PART 2		ARCH D		PROJECT NO. SCALE 1/4" = 1'-0" UNLESS OTHERWISE SPECIFIED		DRAWN DATE CHECKED/DATED	
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IHA DESIGN INC
3236 SAN ANSELME AVE
LONG BEACH, CA 90808
562.547.6364 TEL
562.838.8822 FAX
marty@ihadesigninc.com

PROJECT NAME:

91 SF ADDITION / REMODEL
KIRBY RESIDENCE
5901 WAUKESHA PL
RANCHO PALO VERDES, CA 90275

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REVISIONS

NO.	DATE	DESCRIPTION
00		PLAN CHECK RELEASE

TITLE:

DEMO PLAN

SHEET

2.0

OF SHEETS

PROJECT NO.

D

DRAWN / DATE

1/11/2018

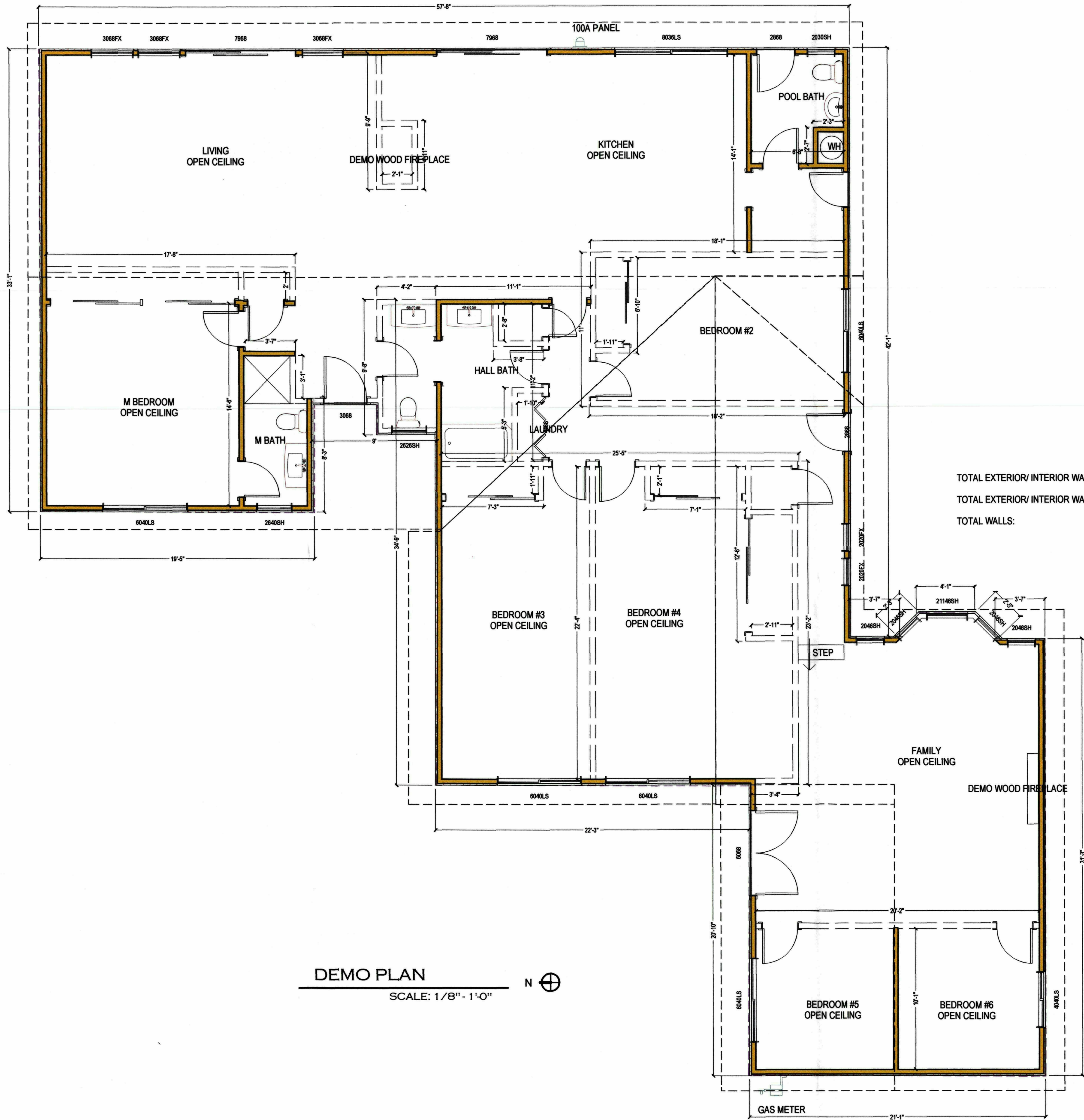
CHECKED / DATE

1/11/2018

SCALE

1/4" = 1'-0"

UNLESS OTHERWISE SPECIFIED



TOTAL EXTERIOR/ INTERIOR WALLS TO BE REMOVED: 288'-1" (4370) ✓
TOTAL EXTERIOR/ INTERIOR WALLS TO REMAIN: 380'-4"
TOTAL WALLS: 668'-5" / 2 = 334'-1"

Project No. 2018-0001
APPROVED BY THE PLANNING DIVISION
CITY OF RANCHO PALOS VERDES
Date: 1/11/2018
Planner: [Signature]
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*Not valid unless accompanied by a completed Clearance Form.
Approved for submittal to Building Division Plan Check: [Signature]
Approved for issuance of Building Permit: [Signature]

- ### EROSION CONTROL
1. DURING THE RAINING SEASON, ALL DISTURBED AREAS MUST INCLUDE AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL. IT IS REQUIRED THAT TEMPORARY EROSION CONTROL MEASURES ARE APPLIED TO ALL DISTURBED SOIL AREAS PRIOR TO A RAIN EVENT. DURING THE NON-RAINY SEASON, EROSION CONTROL MEASURES MUST BE APPLIED SUFFICIENT TO CONTROL WIND EROSION AT THE SITE.
 2. THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN GRADED AREAS AS REQUIRED WET SUPPRESSION OF EXPOSED SOILS, PROVIDING FOR RAPID CLEAN UP OF SEDIMENTS DEPOSITED ON PAVED ROADS.
 3. NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM DRAIN SYSTEM OR OTHER ABOVE GROUND WATERCOURSES UNTIL APPROPRIATE EROSION CONTROL MEASURE ARE FULLY IN PLACE.

WALL LEGEND

	DEMOLISH WALL
	NEW 2X4 EXT. WALL, STUCCO, R13
	NEW 2X4 INT. WALL, 5/8" DRYWALL
	EXISTING 2X4 EXT. WALL, STUCCO, R0
	(E) 2X4 INT. WALL, 5/8" DRYWALL
	NEW 2X4 INT. WALL, 5/8" TYPE X DRYWALL, R13
	NEW 2X8 EXT. WALL, STUCCO, R21
	NEW 2X8 INT. WALL, 5/8" DRYWALL
	NEW 2X8 INT. WALL, 5/8" DRYWALL



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PROJECT NAME:
91 SF ADDITION / REMODEL

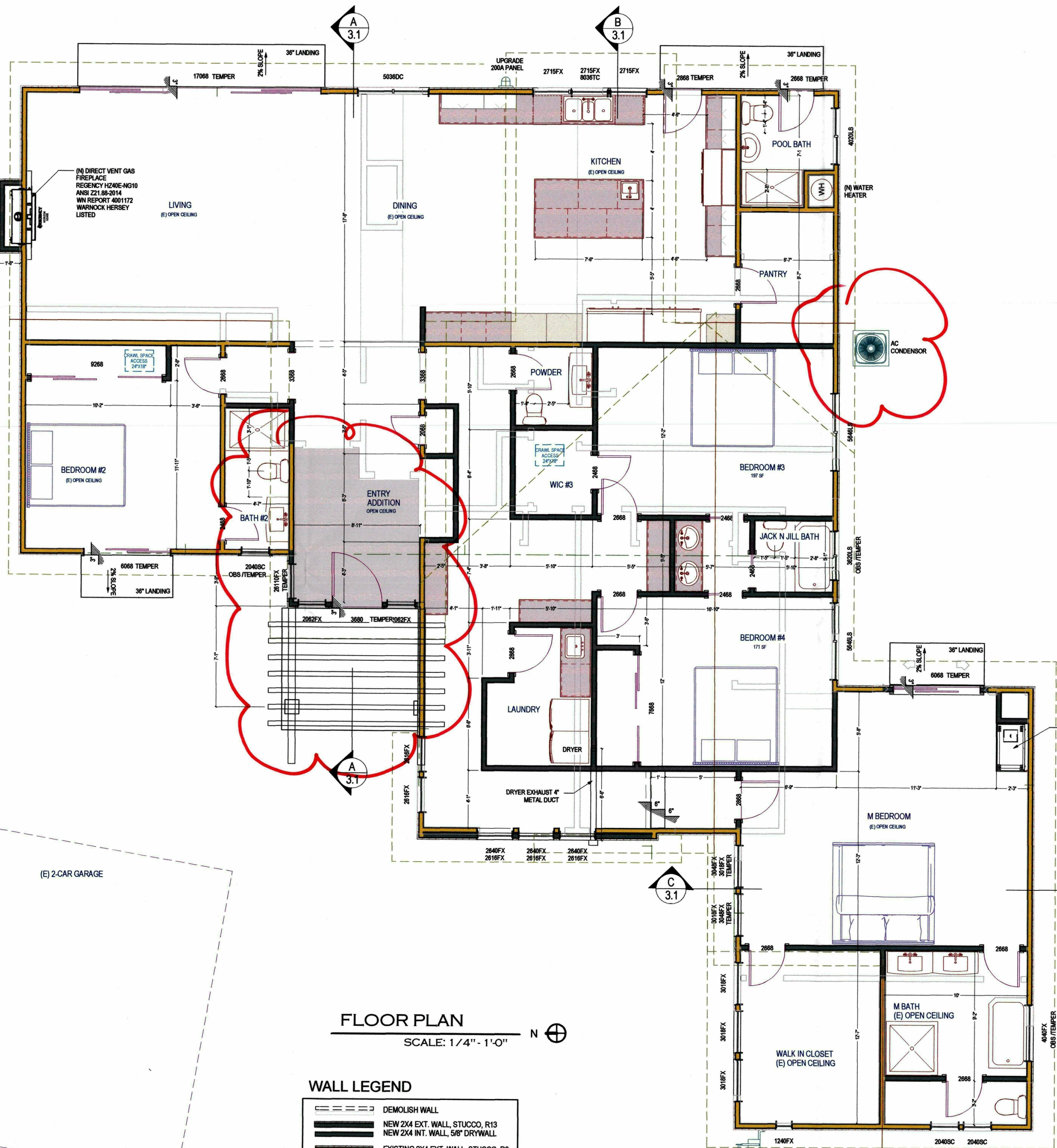
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NO.	DATE	DATE	
00			

FLOOR PLAN		DRAWN/DATE	
TITLE	ARCH	PROJECT NO.	CHECKED/DATE
FLOOR PLAN	D		

SHEET
2.1
OF SHEETS



FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND

- DEMOLISH WALL
- NEW 2X4 EXT. WALL, STUCCO, R13
- NEW 2X4 INT. WALL, 5/8" DRYWALL
- EXISTING 2X4 EXT. WALL, STUCCO, R0
- (E) 2X4 INT. WALL, 5/8" DRYWALL
- NEW 2X4 INT. WALL, 5/8" TYPE X DRYWALL, R13
- NEW 2X8 EXT. WALL, STUCCO, R21
- NEW 2X8 INT. WALL, 5/8" DRYWALL
- NEW 2X8 INT. WALL, 5/8" DRYWALL

VERIFY ALL DIMENSIONS AND CONDITIONS ON
JOB SITE PRIOR TO START OF WORK OR
PORTIONS OF THE WORK.

DIMENSIONS ARE TO THE FRAMING SURFACE

MECHANICAL NOTES

- ATTIC ACCESS OPENING SIZE SHALL BE 30" X 30". ATTIC ACCESS CAN BE REDUCED TO 22" X 30" PROVIDED THE LARGEST PIECE OF EQUIPMENT (FAU) CAN BE REMOVED THROUGH THE OPENING.
- INSTALL THE FAU PER MANUFACTURES SPECIFICATIONS.
- INSTALL PASSAGEWAY PLATFORM MINIMUM 24" WIDTH AND MAX 20" IN LENGTH TO THE FAU.
- INSTALL WORKING PLATFORM NOT LESS THAN 30" IN DEPTH AND WIDTH IN FRONT OF THE ENTIRE FIREBOX SIDE OF THE FAU.
- A PERMANENT ELECTRIC OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED PASSAGEWAY OPENING SHALL BE PROVIDED AT OR NEAR THE FURNACE.
- A MEANS SHALL BE PROVIDED TO DISCONNECT THE FAU FROM THE POWER SOURCE FOR SERVICING THE APPLIANCE. SEE MANUFACTURES INSTALLATION INTRUCTIONS FOR APPROVED DISCONNECT METHOD.
- AN APPROVED SHUT-OFF VALVE IS REQUIRED TO BE INSTALLED AT THE GAS PIPING OUTLET, IMMEDIATELY AHEAD OF HTE FLEX CONNECTOR, AND MUST BE ACCESSIBLE.
- INSTALL VENT (8" MIN FROM OUTER WALL), ROOF FLASHING AND VENT CAP (12" MIN ABOVE ROOF). DOUBLE WALL TYPE "B" VENT REQUIRES MIN 1" CLEARANCE TO COMBUSTIBLE MATERIALS AND REQUIRES A MINIMUM 5' VENT TERMINATION ABOVE THE HIGHEST VENT COLLAR IT SERVES.
- A EXHAUST FAN W/ BACK DRAFT DAMPER IS REQUIRED REGARDLESS OF THE PRESENCE OF A WINDOW. EVERY BATHROOM, KITCHEN RANGE HOOD, AND CLOTHES DRYER TO BE VENTED TO THE OUTDOORS WITH AN APPROVED DUCT. MINIMUM 100 CFM RANGE HOOD AND 60 CFM FOR BATHROOMS AND CLOTHES DRYER. FAN SHALL MEET ASHRA STANDARD 62.2. A MAXIMUM OS 3 SOME RATING IS REQUIRED.
- DUCTED KITCHEN EXHAUST HOOD IS REQUIRED. HOOD VENT MUST BE A METAL, SMOOTH INTERIOR SURFACE DUCT. ALUMINUM FLEX DUCT NOT APPROVED. PROVIDE BACK DRAFT DAMPER. EXHAUST MUST BE 100CFM MIN WITH MAX 3 SONES.
- DUCTS PENETRATING THE WALKS OR CEILING SEPARATING THE DWELLING THRU THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 26 GA SHEET METAL OR OTHER APPROVED MATERIAL. (R302.5.2)

PLUMBING NOTES

- PLUMBING FIXTURES MAXIMUM FLOW RATES STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION:
WATER CLOSET: 1.28 GFLUSH
SINGLE SHOWERHEAD: < 2.0 GPM @ 80 PSI
MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME
LAVATORY FAUCETS: <1.5 GPM @ 80 PSI
KITCHEN FAUCETS: <1.8 GPM @ 80 PSI
2. ALL FIXTURES TO BE PURCHASED BY OWNER.
- ALL GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS SHALL BE TEMPERED. (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE AND GLAZING WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR)
- PROVIDE 70" HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- WATER CLOSETS MUST HAVE 30" CLEAR WIDTH, TOILET /BIDET MUST BE CENTERED, AND 24" CLEARANCE IN FRONT OF WATER CLOSET.
- WATER HEATER MUST BE STRAPPED TO WALL.
- SHOWER STALL DOOR MUST OPEN OUT. OPENING MUST BE A MINIMUM 22" WIDE.
- HOT WATER IS REQUIRED BE ON THE LEFT SIDE OF FIXTURE.
- PROVIDE A MIN 1024 SQ INCHES SHOWER COMPARTMENT WITH A MIN CLEAR SPACE OF A 30" CIRCLE. (CPC 411.7)
- SHOWERS AND TUB-SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROLS OF THE PRESSURE BALANCE TYPE OR THE THERMOSTATIC MIXING VALVE TYPE. (CPC 411.7)
- PROVIDE A MIN 1/4"/FT SLOPE OF THE DRAINAGE PIPING. (CPC 708)

WINDOW NOTES

- WINDOWS SHALL BE DUAL GLAZED VINYL FRAMES WITH BUG SCREENS ON OPERABLE WINDOWS, MILGARD TUSCANY.
- WINDOWS TO HAVE A MAXIMUM 0.32 U-FACTOR AND MAXIMUM 0.25 SOLAR HEAT GAIN COEFFICIENT (SHGC). SEE TITLE 24
- SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIAL OPEN POSITION.
- DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE MUST BE DESIGNED TO LIMIT AIR LEAKAGE AND MUST BE WEATHERSTRIPPED. ALL JOINTS AND PENETRATIONS MUST BE CAULKED AND SEALED.
- ALL MANUFACTURED FENESTRATION PRODUCTS SHALL BE PERMANENTLY LABELED WITH CERTIFIED "U" VALUE AND AN INFILTRATION CERTIFICATE ATTACHED FOR INSPECTOR REVIEW.
- ALL GLAZING IN A TUB OR SHOWER ENCLOSURE MUST MEET THE CATEGORY II CRITERIA FOR SAFETY GLAZING. THE GLASS MUST BE LABELED AS MEETING THE CAT II CRITERIA ACCORDING TO USC STANDARD 24-2, PART I (CPSC 16 CFR 1201) FOR INSPECTOR REVIEW.
- ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICE CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24" FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIRECTION.

DOOR NOTES

- GLASS IN INGRESS AND EGRESS DOORS, AND PANELS IN SLIDING OR SWINGING SHALL BE TEMPERED.
- ALL EXTERIOR DOORS SHALL BE FULLY WEATHERSTRIPPED.
- PROVIDE SINGLE CYLINDER DEADBOLT ON EXTERIOR DOORS.
- INTERIOR DOOR LATCH SETS AND TRIM SHALL BE SELECTED BY OWNER.
- SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIAL OPEN POSITION.
- ALL HARDWARE SHALL BE INSTALLED COMPLETE WITH ALL ACCESSORIES I.E. SCREWS, STRIKES ETC. AND DOORS SET TRUE AND SQUARE TO ITS JAMB.
- GARAGE DOOR MUST BE SELF-CLOSING, EITHER 1-3/8" MIN SOLID CORE OR A LISTED 20 MINUTE ASSEMBLY.

Project No. 2020-00012
APPROVED BY THE PLANNING DIVISION
CITY OF RANCHO PALOS VERDES
Date 1/11/22
Planner [Signature]
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*Not valid unless accompanied by a completed Clearance Form
Approved for submittal to Building Division Plan Check 1/11/22
Approved for issuance of Building Permit 1/11/22 [Signature]



PROJECT NAME:
91 SF ADDITION / REMODEL
KIRBY RESIDENCE
5901 WAUKESHA PL
RANCHO PALO VERDES, CA 90275

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D	WASH	PROJECT NO.	DRAWN / DATE	
	SCALE	SHEET NO.	CHECKED / DATED	
			DATE	REVISIONS
			00	PLAN CHECK RELEASE

SHEET
3.0
OF SHEETS

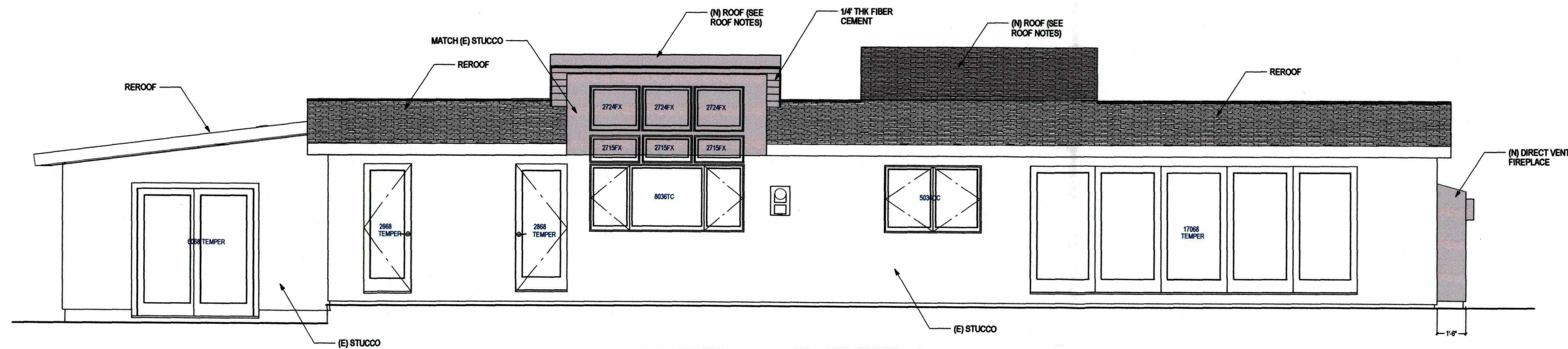


Project No. 202406-008
 APPROVED BY THE PLANNING DIVISION
 CITY OF RANCHO PALOS VERDES
 Date 11/14/2024 With Conditions _____ As Submitted _____
 Planner [Signature]
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 Approved for submittal to Building Division Plan Check [Signature]
 Approved for issuance of Building Permit [Signature]



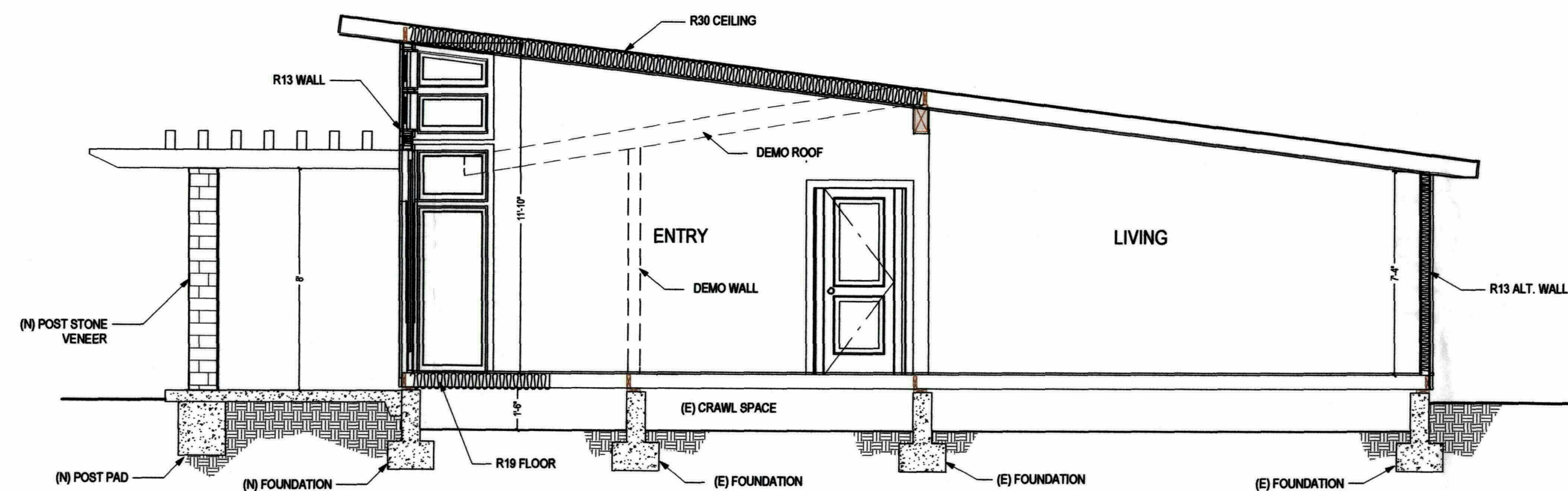
1. EXTERIOR COVERING SHALL COMPLY WITH SECTION R703 CRC.
2. PROVIDE 2-LAYERS OF GRADE "D" PAPER AT ALL EXTERIOR WALLS OVER OSB OR SHEAR PANEL SHEATHING AND STUCCO COVERING PER R703.6.3.
3. PROVIDE 4" AND 2" CLEARANCE FROM WEEP SCREEN TO GRADE AND PAVED SURFACE RESPECTIVELY.
4. STUCCO COLOR AND FINISH, OWNER TO SELECT AND APPROVE.
5. INSTALL JAMES HARDIE FIBER CEMENT ARTISIAN OR CEMSOFT VERTICAL SIDING WHERE NOTED.

1. KITCHEN LIGHTING AND PERMANENTLY INSTALLED SHALL BE FLUORESCENT. UP TO 50 PERCENT OF THE TOTAL RATED WATTAGE PERMANENTLY INSTALLED FLUORESCENT IN THE KITCHEN MAY BE NON-FLUORESCENT.
2. BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOM LIGHTING SHALL BE FLUORESCENT EXCEPT IF CONTROLLED BY OCCUPANT SENSOR THAT COMPLIES WITH SECTION 118(f) THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION.
3. OTHER SPACE LIGHTING (LIVING, DINING, BEDROOM AND HALLWAYS EXCEPT CLOSETS LESS THAN 70 SF) SHALL BE FLUORESCENT EXCEPT IF CONTROLLED BY A DIMMER SWITCH OR OCCUPANT SENSOR.
4. OUTDOOR LIGHTING AND PERMANENTLY MOUNTED TO THE HOUSE AND/OR GARAGE SHALL BE FLUORESCENT EXCEPT IF CONTROLLED BY A MOTION SENSOR WITH INTEGRAL PHOTOCONTROL CERTIFIED TO COMPLY WITH SECTION 119(d).



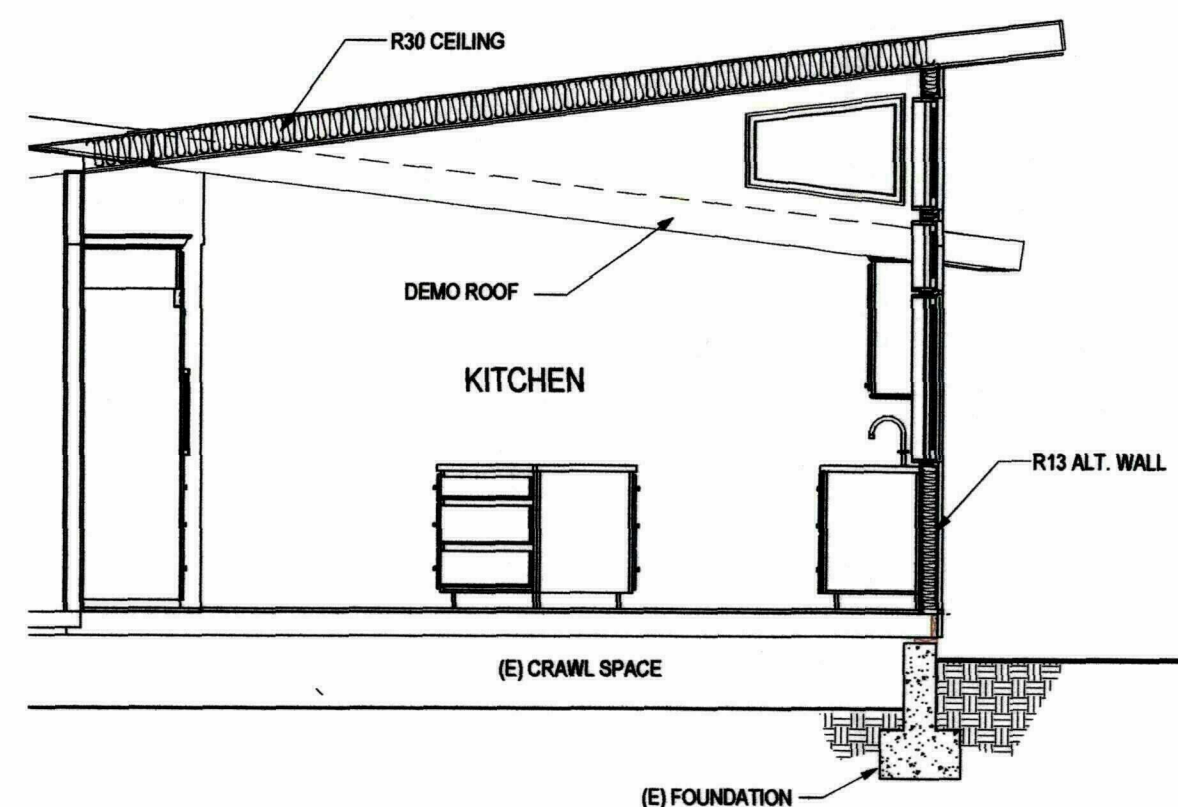
EAST ELEVATION

SCALE: 1/4" = 1'-0"



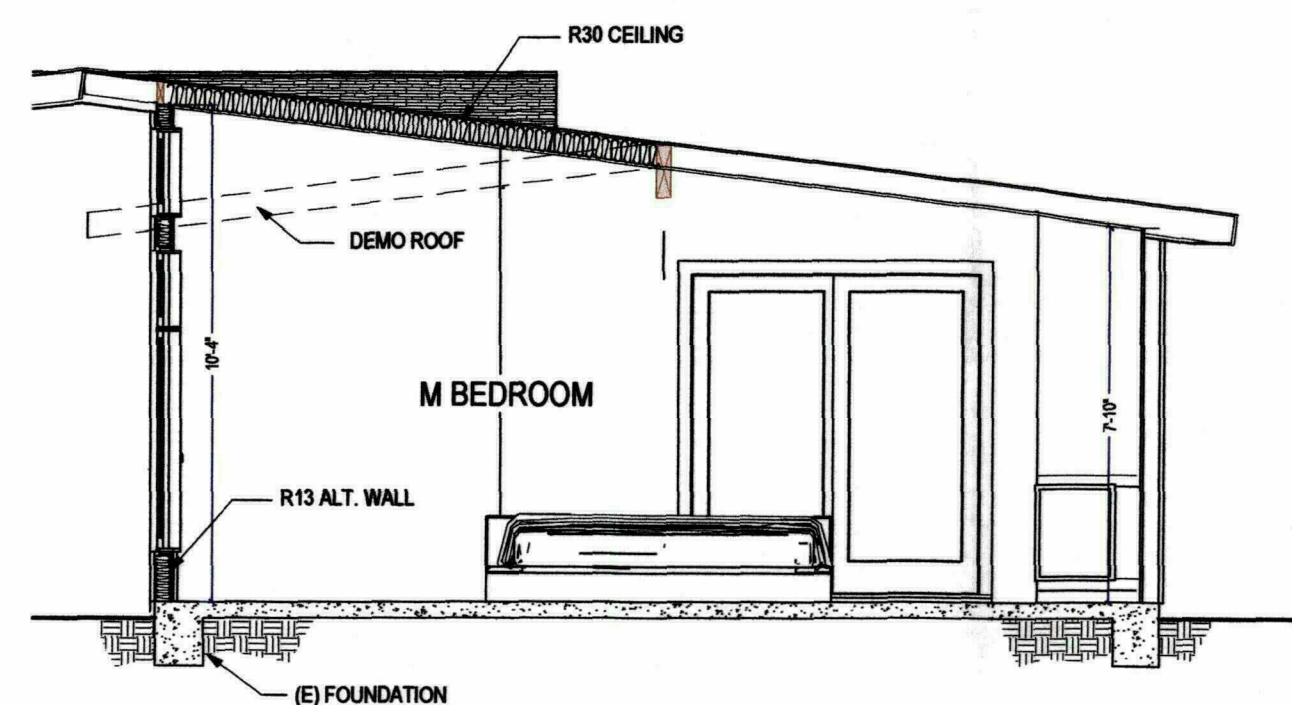
A - SECTION

SCALE: 1/4" = 1'-0"



B - SECTION

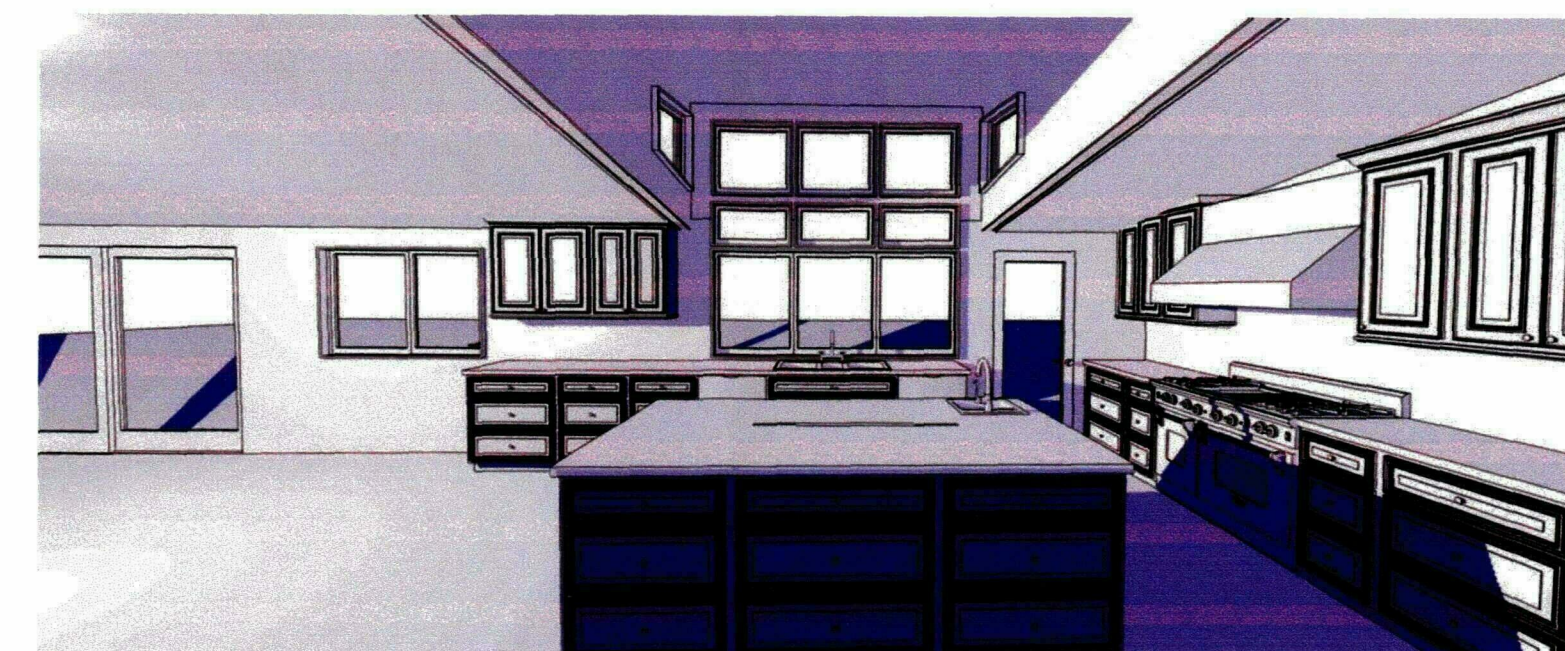
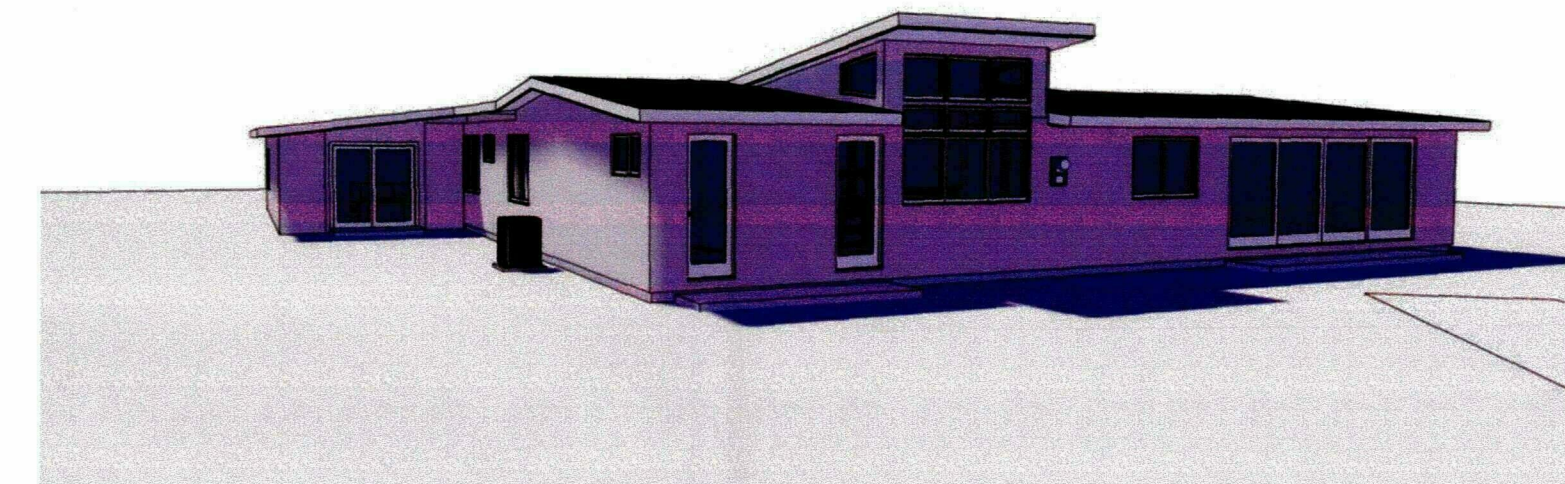
SCALE: 1/4" = 1'-0"



C - SECTION

SCALE: 1/4" = 1'-0"

Project No. 2016-0016
 APPROVED BY THE PLANNING DIVISION
 CITY OF RANCHO PALOS VERDES
 With Conditions As Submitted
 Date 11/16/16
 Planner [Signature]
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 Approved for submittal to Building
 Division Plan Check 11/16/16
 Approved for issuance of Building
 Permit 11/16/16



EXTERIOR NOTES

1. EXTERIOR COVERING SHALL COMPLY WITH SECTION R703 CRC.
2. PROVIDE 2-LAYERS OF GRADE "D" PAPER AT ALL EXTERIOR WALLS OVER OSB OR SHEAR PANEL SHEATHING AND STUCCO COVERING PER R703.6.3.
3. PROVIDE 4" AND 2" CLEARANCE FROM WEEP SCREED TO GRADE AND PAVED SURFACE RESPECTIVELY.
4. STUCCO COLOR AND FINISH, OWNER TO SELECT AND APPROVE.
5. INSTALL JAMES HARDIE FIBER CEMENT ARTISIAN OR CEMSOFT VERTICAL SIDING WHERE NOTED.

INSULATION AND AIR INFILTRATION NOTES:

1. INSTALL UNFACED R13 MIN INSULATION ON WALLS.
2. WALL INSULATION MUST BE IN CONTACT WITH ALL 6 SURFACES WITH NO VOIDS. DO NOT COMPRESS INSULATION, CUT AROUND ELECTRICAL BOXES AND PLUMBING, AND SPLIT INSULATION TO RUN ELECTRICAL WIRING INSIDE INSULATION.
3. INSTALL UNFACED R19 MIN INSULATION ON KNEE WALLS AND BACKED AND SEALED WITH 1/2" DRYWALL.
4. INSTALL R30 MIN. INSULATION ON THE CEILING. INSULATION MUST BE IN FULL CONTACT TO CEILING. APPLY AFTER DUCTS ARE INSTALLED TO BURY DUCTS IN THE INSULATION.
5. INSTALL UNFACED R19 BATT INSULATION ON THE FLOOR BACKED WITH BIRDS NETTING NOT WIRE.
6. SEAL ALL TOP AND BOTTOM PLATE PENETRATIONS INCLUDING PLUMBING, AND ELECTRICAL WIRING THRU WALL STUDS.
7. APPLY A CONTINUOUS BEAD OF CAULKING BETWEEN THE TOP AND BOTTOM PLATES AND DRYWALL.



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 562.547.6364 TEL
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PROJECT NAME:
 91 SF ADDITION / REMODEL

KIRBY RESIDENCE
 5901 WAUKESHA PL
 RANCHO PALOS VERDES, CA 90275

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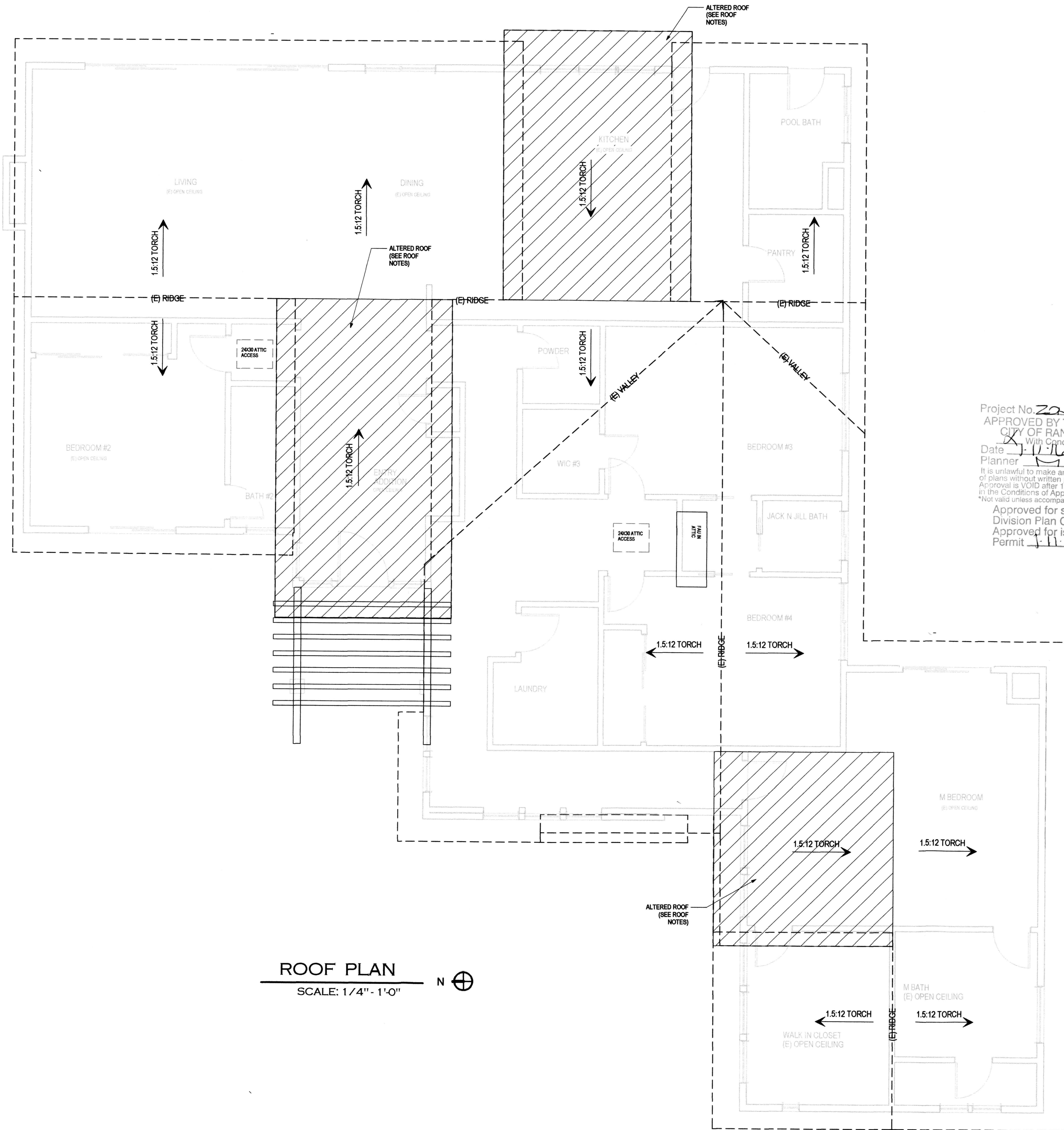
NO.	DATE	REVISIONS	PLAN CHECK RELEASE
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NO.	DATE	REVISIONS	PLAN CHECK RELEASE
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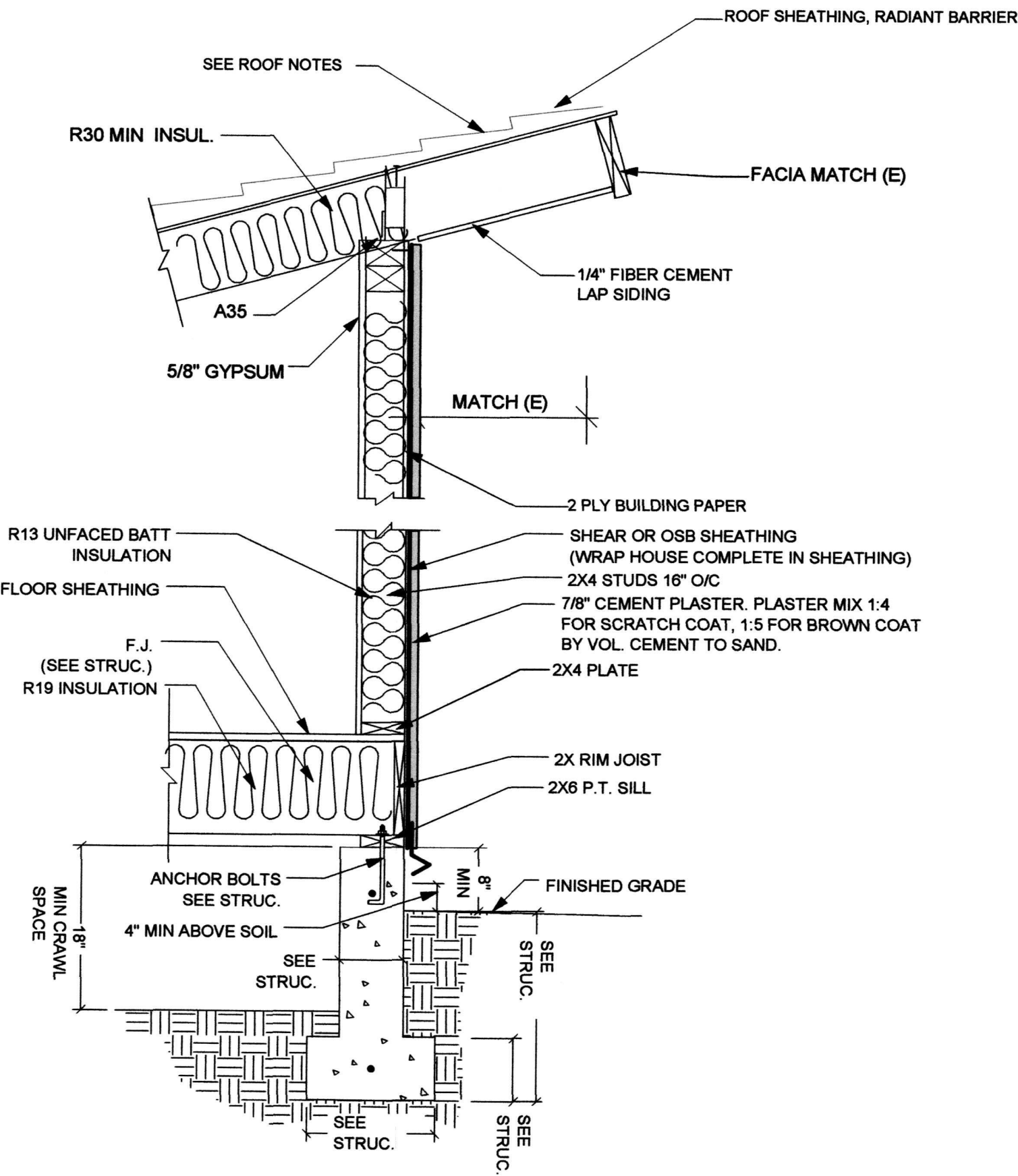
TITLE:	PROJECT NO.	SCALE	DRAWN DATE	CHECKED DATE
ELEVATIONS AND SECTION	1/4" = 1'-0"	3/04		

ARCH	SCALE	DRAWN DATE	CHECKED DATE
D	1/4" = 1'-0"		

SHEET
3.1
 OF SHEETS



Project No. 22-0016-0008
APPROVED BY THE PLANNING DIVISION
CITY OF RANCHO PALOS VERDES
With Conditions As Submitted
Date 1-11-16
Planner M. Lopez
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Not valid unless accompanied by a completed Clearance Form
Approved for submittal to Building Division Plan Check 1-11-16
Approved for issuance of Building Permit 1-11-16



C - DETAIL, TYP
(SEE STRUCTURAL DETAILS) SCALE: NONE

MECHANICAL NOTES

- ATTIC ACCESS OPENING SIZE SHALL BE 30" X 30". ATTIC ACCESS CAN BE REDUCED TO 22" X 30" PROVIDED THE LARGEST PIECE OF EQUIPMENT (FAU) CAN BE REMOVED THROUGH THE OPENING.
- INSTALL THE FAU PER MANUFACTURES SPECIFICATIONS.
- INSTALL PASSAGEWAY PLATFORM MINIMUM 24" WIDTH AND MAX 20" IN LENGTH TO THE FAU.
- INSTALL WORKING PLATFORM NOT LESS THAN 30" IN DEPTH AND WIDTH IN FRONT OF THE ENTIRE FIREBOX SIDE OF THE FAU.
- A PERMANENT ELECTRIC OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE REQUIRED PASSAGEWAY OPENING SHALL BE PROVIDED AT OR NEAR THE FURNACE.
- A MEANS SHALL BE PROVIDED TO DISCONNECT THE FAU FROM THE POWER SOURCE FOR SERVICING THE APPLIANCE. SEE MANUFACTURES INSTALLATION INTRUCTIONS FOR APPROVED DISCONNECT METHOD.
- AN APPROVED SHUT-OFF VALVE IS REQUIRED TO BE INSTALLED AT THE GAS PIPING OUTLET, IMMEDIATELY AHEAD OF HTE FLEX CONNECTOR, AND MUST BE ACCESSIBLE.
- INSTALL VENT (8" MIN. FROM OUTER WALL), ROOF FLASHING AND VENT CAP (12" MIN ABOVE ROOF). DOUBLE WALL TYPE "B" VENT REQUIRES MIN 1" CLEARANCE TO COMBUSTIBLE MATERIALS AND REQUIRES A MINIMUM 5' VENT TERMINATION ABOVE THE HIGHEST VENT COLLAR IT SERVES.
- A EXHAUST FAN W/ BACK DRAFT DAMPER IS REQUIRED REGARDLESS OF THE PRESENCE OF A WINDOW. EVERY BATHROOM, KITCHEN RANGE HOOD, AND CLOTHES DRYER TO BE VENTED TO THE OUTDOORS WITH AN APPROVED DUCT. MINIMUM 100 CFM RANGE HOOD AND 50 CFM FOR BATHROOMS AND CLOTHES DRYER. FAN SHALL MEET ASHRA STANDARD 62.2. A MAXIMUM OS 3 SONE RATING IS REQUIRED.
- DUCTED KITCHEN EXHAUST HOOD IS REQUIRED. HOOD VENT MUST BE A METAL, SMOOTH INTERIOR SURFACE DUCT. ALUMINUM FLEX DUCT NOT APPROVED. PROVIDE BACK DRAFT DAMPER. EXHAUST MUST BE 100CFM MIN WITH MAX 3 SONES.
- DUCTS PENETRATING THE WALKS OR CEILING SEPARATING THE DWELLING THRU THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 26 GA SHEET METAL OR OTHER APPROVED MATERIAL. (R302.5.2)

ROOF NOTES

- FLASH ALL ROOF PENETRATIONS WITH 26 ga MIN GALV SHEET METAL.
- FLASH AND COUNTERFLASH ALL ROOF TO WALL CONDITIONS WITH 26 ga MIN GALV SHEET METAL.
- VALLEY FLASHING: 26 ga GALV, CORROSION RESITANT, SHEET METAL, AND SHALL EXTEND 8" FROM THE CENTER LINE EACH WAY WITH A 4" MIN LAP LINE AT ENDS. FLASHING SHALL HAVE A 36" WIDE 15# FELT RUNNING THE FULL LENGTH OF THE VALLEY.
- (1) LAYER OF 15# FELT LAPPED 2" HORIZONTAL AND 4" VERTICAL ON ROOF PITCHES OF 4:12 OR GREATER. APPLY (2) LAYERS OF 15# FELT IF ROOF PITCH IS 4:12 OR LESS.
- APPLY RADIANT BARRIER SHEATHING TO ALL NEW ROOF WHERE NOTED. DO NOT APPLY RADIANT BARRIER OVER EXISTING ROOF SHEATHING.
- PROVIDE ROOF VENTILATION EQUAL TO 1/150 OF ROOF AREA OR 1/300 IF VENTS ARE INSTALLED ON THE TOP HALF OF ROOF.
- BUILT UP ROOF COVERING MATERIALS SHALL COMPLY WITH THE STANDARDS IN TABLE R905.9.2
- BUILT UP ROOF SHALL HAVE A MINIMUM SLOPE OF 1/4 IN PER FOOT (2%) FOR DRAINAGE.
- BUILT UP ROOF MATERIAL TO BE CERTAINTED FLINTLASTIC FR CAP 30T CAP SHEET TORCH DOWN. CLASS A ESR-1388 OR EQUAL. OWNER TO SELECT COLOR.

ROOF PLAN
SCALE: 1/4" = 1'-0" N

VERIFY ALL DIMENSIONS AND CONDITIONS ON JOB SITE PRIOR TO START OF WORK OR PORTIONS OF THE WORK.

IHA DESIGN
IHA DESIGN INC
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562.938.8822 FAX
marly@ihadesigninc.com

PROJECT NAME:
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KIRBY RESIDENCE
5901 WAUKESHA PL
RANCHO PALO VERDES, CA 90275

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REVISIONS		DATE	NO	DATE	NO	DATE	NO	DATE	NO
PLAN CHECK RELEASE			00						

TITLE: ROOF PLAN AND DETAILS
SHEET 4.0 OF 4.0 SHEETS
PROJECT NO. 22-0016-0008
SCALE: 1/4" = 1'-0"
DRAWN/DATE: D 3/24/24
CHECKED/DATE: D 3/24/24
UNLESS OTHERWISE SPECIFIED