

# FILE CONTROL SHEET

PROPERTY ADDRESS

29317 WESTERN AVENUE

[illegible]



CITY OF RANCHO PALOS VERDES  
**PLANNING CLEARANCE**

Planning, Building and Code Enforcement Department  
Planning Division  
30940 Hawthorne Blvd.  
Rancho Palos Verdes, CA 90275  
(310) 544-5228 FAX: (310) 544-5293 E-mail: [planning@rpv.com](mailto:planning@rpv.com)

PERMIT NO.: ZON2008-00196  
APPLIED: 4/9/2008  
ISSUED: 4/9/2008  
EXPIRES: 10/6/2008

**SITE ADDRESS: 29317 WESTERN AVE**

**ASSESSOR'S PARCEL NO.: 7557031012**

**PROJECT DESCRIPTION:** Two new additions totaling 180 SF to the side and front of an existing commercial building.

OWNER/APPLICANT

CHECKERBOARD PROPERTIES, INC  
PO BOX 783  
SAN DIEGO CA 92112

PRIMARY CONTACT

DAVID FRINK  
3549 CAMINO DEL RIO S.  
SAN DIEGO CA 92108

**TYPE OF USE:** Commercial, Addition/Remodel

**ZONING:** CG-Comm'l General

**APPLICATION TYPE(S):** Site Plan Review

**FEES**

Type	By	Date	Amount
DATA	RC	4/9/2008	\$3.96
SPRM	RC	4/9/2008	\$157.00
HIST	RC	4/9/2008	\$17.16
Total:			\$178.12

**NOTES:**

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CONDITIONS OF APPROVAL

This approval is for two new additions totaling 180 SF to the front and side of an existing commercial building.

Unless modified in the future by another discretionary City approval, the approved project shall maintain the following minimum setbacks:

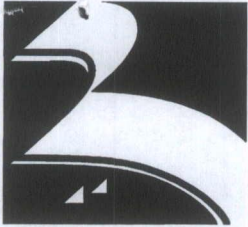
20' front yard  
20' rear yard  
10' side yard

The height of the approved project shall be as depicted on the stamped approved plans, and in no case shall the maximum height of any new construction exceed the existing ridgeline of the building (proposed at 21'-2").

No grading is permitted by this approval.

Construction of the approved project shall substantially comply with the plans originally stamped APPROVED on April 9, 2008 and with the CG district and site development standards of the Rancho Palos Verdes Development Code.





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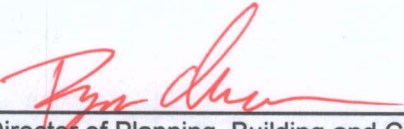
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EXPIRES: 10/6/2008

**In the event that a Planning Division and a Building Division requirement are in conflict, the stricter standard shall apply.**

**The construction site and adjacent public and private properties and streets shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may include, but not be limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.**

**Permitted hours and days for construction activity are 7:00 AM to 7:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or on the legal holidays specified in Section 17.96.920 of the Rancho Palos Verdes Development Code. Trucks and other construction vehicles shall not park, queue and/or idle at the project site or in the adjoining public rights-of-way before 7:00 AM, Monday through Saturday, in accordance with the permitted hours of construction stated above.**

**The City strongly urges the applicant for this project to contact the Homeowners' Association or local Art Jury, if any, to gain any additional approvals that may be required before applying for a building permit. A list of Homeowners' Associations is on file with the Planning, Building and Code Enforcement Department of Rancho Palos Verdes.**

  
\_\_\_\_\_  
For Director of Planning, Building and Code Enforcement

  
\_\_\_\_\_  
Date

THIS APPROVAL SHALL BE NULL AND VOID AFTER **October 6, 2008** UNLESS THE APPROVED PLANS ARE SUBMITTED TO BUILDING AND SAFETY TO INITIATE THE "PLAN CHECK" REVIEW PROCESS. THIS APPROVAL SHALL ALSO BECOME NULL AND VOID IF AFTER INITIATING THE "PLAN CHECK" REVIEW PROCESS OR RECEIVING A BUILDING PERMIT TO BEGIN CONSTRUCTION, SAID PERMIT OR "PLAN CHECK" IS ALLOWED TO EXPIRE OR IS WITHDRAWN BY THE APPLICANT.

## Ryan Church

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**From:** Andy Bradvica [ab@arcdf.com]  
**Sent:** Thursday, March 20, 2008 11:16 AM  
**To:** RYANC@RPV.COM  
**Cc:** 'David Frink'  
**Subject:** JACK-IN-THE-BOX REST ON WESTERN

Mr. Church,

Per our conversation yesterday here are the counts for the proposed addition and exterior color change to the Jack-In-The-Box restaurant located at 29316 S. Western Avenue:

We are proposing a 180 s.f. addition; all proposed space is under the existing roof line. The roof is not changing in size or height.

The proposal will give us 668 s.f. of inside dining; the patio will be 530 s.f. for a total dining area of 1198 s.f. Per what I found on the RPV website by square footage 16 parking spaces are required.

There are currently 28 seats in the restaurant, we are proposing to have 51 seats inside; we are proposing 48 seats for the patio for a total of 99.

Using just the interior seating the parking requirement is 17 spaces; if the patio total is included than the parking requirement is 33 spaces.

We are also proposing restripping the parking lot along with adding and removing planters; our proposed parking count is 34 spaces.

If needed I can quickly email you pdfs of the proposed site plan and floor plan showing the seating. If you have any questions please contact me as soon as possible. Thank you.

Andy Bradvica, Job Captain

[ab@arcdf.com](mailto:ab@arcdf.com)

Architect David Frink

3549 Camino Del Rio S., Ste. C

San Diego, CA 92108

Ph. 619.640.2400

Fax 866.535.7228

4/9/2008



## GENERAL CONDITIONS

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALLS, ETC., AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

## GENERAL NOTES

1. ALL SITE CONCRETE PAVING (IF ANY NEW) SHALL BE SPRAYED WITH A CURING COMPOUND AS SOON AS CONCRETE IS SET UP.

## BUILDING DATA

JACK IN THE BOX # 352  
LOCATION: RANCHO PALOS VERDES, CA 90275  
BUILDING SQUARE FOOTAGE: 2,250 SQ. FT.  
SITE AREA: 29,258 SQ. FT.  
ZONING: C2

### LEGAL DESCRIPTION:

THAT PORTION OF LOT 3 OF TRACT NO. 2074, IN COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22, PAGE 8 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EASTERLY LINE OF TRACT NO. 16726, AS PER MAP RECORDED IN BOOK 479, PAGES 12 TO 20 INCLUSIVE OF MAPS, RECORDS OF SAID COUNTY, DISTANT THEREON NORTH 6° 10' 35" EAST 450.00 FEET FROM THE NORTHERLY LINE OF CRESTWOOD STREET, 60 FEET MORE AS SHOWN ON THE MAP OF SAID TRACT NO. 16726; THENCE ALONG THE SAID EASTERLY LINE NORTH 6° 10' 35" EAST 180.50 FEET TO THE NORTHEAST CORNER OF LOT 58 OF SAID TRACT 16726; THENCE ALONG THE PROLONGATION OF THE NORTHERLY LINE OF SAID TRACT NO. 16726, SOUTH 89° 57' 33" EAST 153.97 FEET TO THE WESTERLY LINE, WESTERLY ANGLE 100 FEET MORE AS SHOWN ON THE SAID MAP OF TRACT NO. 16726; THENCE ALONG THE SAID WESTERLY LINE SOUTH 6° 10' 35" WEST TO A POINT THEREON SOUTH 83° 48' 22" EAST FROM THE POINT OF BEGINNING, THENCE NORTH 83° 48' 22" WEST 153 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

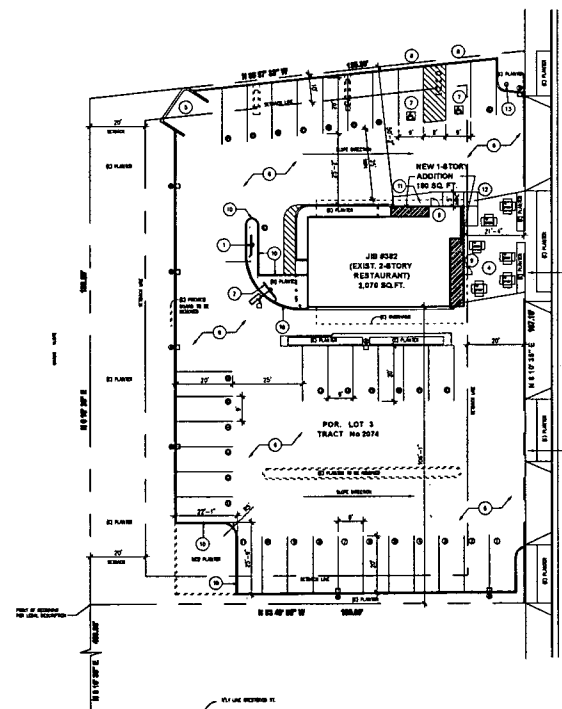
EXCEPTING ALL OIL, GAS MINERAL AND/OR OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND, BELOW A DEPTH OF 500 FEET, BELOW THE SURFACE, THEREOF BUT WITHOUT RIGHT OF ENTRY UPON THE SURFACE OF SAID LAND FOR THE PURPOSES OF EXTRACTING OR DEVELOPING SAME, AS RESERVED BY SECURITY ENTERPRISES CORPORATION AND MART J. GORDON AND SARAH GORDON, HAS NOT, IN DEED RECORDED APRIL 25, 1960.

EXISTING BUILDING = 2,070 SQ. FT.  
EXISTING PARKING = 28  
EXISTING PKG RATIO = .013

PROPOSED NEW BUILDING = 2,250 SQ. FT.  
PROPOSED NEW PARKING = 33  
PROPOSED PKG RATIO = .014

## SITE PLAN NOTES

1. NEW PREVIEW MENU BOARD
2. NEW SPEAKER & MENU BOARD
3. EXISTING CONCRETE SIDEWALK
4. NEW PATIO DRINK
5. EXISTING TRASH ENCLOSURE, TO BE POWER WASHED, PREPARED AND PAINTED.
6. REMOVE EXISTING DAMAGED ASPHALT, INSTALL NEW ASPHALT AS REQUIRED, SEALCOAT REMAINING A.C. AND RESTRIPE PER CITY STANDARDS TYP.
7. NEW ACCESSIBLE PARKING STALL SYMBOL
8. NEW ACCESSIBLE PARKING SIGN
9. NEW SYMBOL OF ACCESSIBILITY AT ENTRY DOOR
10. NEW 4" CONCRETE CURB
11. NEW CONCRETE SIDEWALK - ROCK SALT FINISH
12. NEW CONCRETE RAMP
13. EXISTING POLE SIGN



CRESTWOOD ST.

**SITE PLAN**  
SCALE: 1"=20'



5330 BALBOA AVENUE  
SAN DIEGO, CA 92123

© 1999 Jack in the Box Inc.

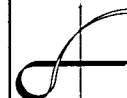
These drawings and specifications are the property of Jack in the Box Inc. and shall not be copied or reproduced without its previous written consent.

### dates

RELEASE: \_\_\_\_\_  
P.M. (JIB ONLY): \_\_\_\_\_  
PERMIT: \_\_\_\_\_  
BID: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

### revisions

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Architect David Prink

5549 Camino Del Rio S.  
Suite C  
San Diego, CA 92108  
Tel: 619-640-3400  
Fax: 619-640-7239

email: d@prink.com

### site information

WK TYPE: 3AC40VP  
JIB # 352  
ADDRESS:  
28317 S. WESTERN AVE.  
RANCHO P.V., CA 90275  
DRAWN BY:  
SCALE: AS NOTED

**SITE PLAN**

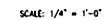
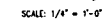
**SD1.0**





- 1 MEASURING SURROUND FOR EXISTING DRAINAGE (BY ALL)
- 2 PAINT EXISTING WHITE. PAINTED CARS BRUSH THINLY. SEE SPECIFICATIONS FOR PREPARATION AND TYPE OF PAINT TO BE USED.
- 3 PAINT EXISTING WHITE. MEASURING SURROUND FOR EXISTING DRAINAGE (BY ALL)
- 4 PAINT EXISTING WHITE. BRUSH THINLY. MEASURING SURROUND FOR EXISTING DRAINAGE (BY ALL)
- 5 PAINT EXISTING WHITE. BRUSH THINLY. MEASURING SURROUND FOR EXISTING DRAINAGE (BY ALL)
- 6 PAINT EXISTING WHITE. BRUSH THINLY. MEASURING SURROUND FOR EXISTING DRAINAGE (BY ALL)
- 7 EXISTING BUILDING (TALL, WHITE, HOLLOW WALL, BROOM-FINISH & WHITE) TO BE PAINTED. COLOR: DEERHORN WILLOW SHIP? "BALANCED BEIGE" TYP. SGLR.
- 8 NEW SURROUND TO MATCH EXISTING

ALL NEW EXTENSION SIGNS AND GRAPHICS UNDER SEPARATE DESIGN REVIEW TO BE SUBMITTED UNDER SEPARATE APPLICATION



**SITE PLAN REVIEW APPLICATION NO. ZON 2008-00196**

**APPLICANT/CONTRACTOR:**

**LANDOWNER:**

(Name): DAVID FRINK ARCHITECT

(Name): MAJOR DAWSON

(Address): 3549 CAMINO DEL RIO S.

(Address): 18869 JEFFREY AVE.

SAN DIEGO, CA 92108

CERRITOS, CA 90703

Phone: Work: 619.640.2400

Phone: Work: 562.402.4110

Home: 858.761.4242

Home: 562.402.3859

**Project Location:**

29317 S. WESTERN AVE

**Detailed Project Description:**

180 S.F. ADDITION TO DINING AREA, INTERIOR T.I. IN DINING

AREA + RESTROOMS, EXTERIOR COLOR CHANGE, RE-STIPPLING OF PARKING LOT

**GENERAL INFORMATION**

**Existing Development:**

1. Year lot was created.
- 2,070 2. Square footage of the enclosed existing primary structure.  
(including attached enclosed patios)
- Ø 3. Number of enclosed parking spaces.
- Ø 4. Square footage of enclosed garage.
- Ø 5. Square footage of all detached accessory structures.
- 1,700 6. Square footage of **building footprint**  
(including garage, primary and accessory structures, covered patios and  
porches, decks over 30" in height, and courtyards enclosed by 3 or more walls.)
- 19,845 7. Square footage of driveways and outdoor parking areas.
- 29,268 8. Square footage of lot.
- 21,545 9. Square footage of **existing** lot coverage\*[line 6 + line 7].
- 74% 10. Percentage of **existing** lot coverage [line 9 divided by line 8].



**Proposed Development:**

~~EXISTING~~ 21'-2" 11. Maximum height of project, measured from the highest point of existing grade covered by the structure to ridge.

~~EXISTING~~ 21'-2" 12. Maximum height of project, measured from the finished grade adjacent to the lowest foundation to ridge.

~~NEW~~ 180 13. Square footage of all **proposed** new structures.

A. First Story = 180

B. Second Story = Ø

C. Other = Ø

1,880 14. Square footage of **proposed** new building footprint [line 6 + line 13].

19,062 15. Square footage of driveways and outdoor parking areas.

20,942 16. Square footage of **new** lot coverage [line 14 + line 15].

72% 17. Percentage of **new** lot coverage [line 16 divided by line 8].

**Grading Information**

Ø Total volume of earth to be moved (sum of cut and fill, in cubic yards).

Ø Maximum height of fill.

Ø Maximum depth of cut.

*If the proposed project involves earth movement (sum of cut and fill) of 20 cubic yards or greater, or a 3 foot cut or fill or greater, a separate Grading Application is required.*

**Information to Determine if a Foliage Analysis is Necessary**

Does the proposed project involve an addition or structure which is 120 square feet or more in size and which can be used as a gathering space and viewing area (i.e., decks, covered patios)?

☐ YES ☒ NO

Does the proposed project involve an addition or structure which consists of 120 square feet or more of habitable space (i.e., room expansions, additions, conversions)?

☒ YES ☐ NO

If the answer is "yes" to either question, a foliage analysis must be conducted by Staff **prior to approval of the Site Plan Review Application** to determine if any existing foliage on the applicant's property, which exceeds 16 feet or the ridgeline of the primary residence, whichever is lower, impairs a view from

any surrounding properties. An additional processing fee of \$157 is required to perform the foliage analysis will generally be completed within 1 week from application submittal.

If the answer is "no" to both questions, the proposed project is exempt from the "foliage removal" requirements, and a foliage analysis of the applicant's property is not necessary.

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### Voluntary Neighborhood Compatibility Pre-application Step

Was the voluntary Neighborhood Compatibility Pre-application step completed? ☐ YES\* ☒ NO

*If yes, please include the Neighborhood Compatibility Consultation Form (NC-F) at the time of application submittal.*

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### Project Silhouette Waiver

The waiver below must be completed if you are required to construct a project silhouette for the Neighborhood Compatibility analysis. See attached construction criteria and certification form.

#### WAIVER

I, \_\_\_\_\_, am the owner of property located at \_\_\_\_\_  
in the City of Rancho Palos Verdes and wish to apply to the City for permission to construct:

\_\_\_\_\_  
\_\_\_\_\_  
*I understand that, pursuant to Section 17.02.040(C)(1)(d), I must construct and maintain a temporary frame as a visual aid for evaluating the impacts of the proposed structure. I hereby waive any claim against the City of Rancho Palos Verdes for any damage or injury caused by the construction of the frame or by any subsequent failure of the frame.*

\_\_\_\_\_  
Landowner Signature

\_\_\_\_\_  
Date

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### Public Right-Of-Way Encroachment

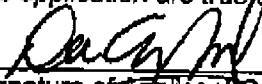

Does the project involve any work, activity, or encroachment in the public right-of-way or public drainage structure? ☐ YES\* ☒ NO

*If yes, you must obtain approval from the Public Works Department prior to issuance of construction permits.*



**Signatures**

I HEREBY CERTIFY, under penalty of perjury, that the information and materials submitted with this application are true and correct.

 and   
\_\_\_\_\_  
Signature of Applicant Contractor      Signature of Landowner (REQUIRED)  
Dated: 4/7/08      Dated: 4/7/08

**AN APPLICATION WILL NOT BE ACCEPTED FOR PROCESSING WITHOUT THE SIGNATURE OF THE LANDOWNER**

**CONTRACTORS PLEASE READ AND INITIAL:**

I UNDERSTAND that in order to perform work in the City of Rancho Palos Verdes, a business license must be obtained from the City's Finance Department prior to obtaining a building permit from the Building and Safety Division.

\_\_\_\_\_  
(initials)

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REVISED: 6/19/07



RANCHO PALOS VERDES  
Department of Planning, Building & Code Enforcement

### CERTIFICATION OF PROPERTY OWNERS' MAILING LIST

Application(s) SITE PLAN REVIEW APPLICATION - FORM A

Applicant Name DAVID E. FRINK

Subject Property Address 29917 9. WESTERN AVE

Notice Radius Required 500'

Number of property owners to be notified 1

I certify that the property owners' mailing list submitted with the application(s) listed above includes all of the persons listed on the latest adopted LA County Tax Roll as the legal owners (and if applicable occupants) of all parcels of land within \_\_\_\_\_ feet of the subject property noted above. I certify that the property owners' mailing list has been prepared in accordance with the City of Rancho Palos Verdes Development Code and "Vicinity Map Instructions Sheet." I also understand that if more than 20% of the notices are returned by the post office after mailing due to incorrect address information, or if the address information is not complete, that I will have to submit a new property owners' list that has been prepared and certified as accurate by a Title Company or other professional mailing list preparation service, and the project notice will have to be re-mailed.

[Signature]  
Property Owner (Applicant) Signature

4/7/08  
Date

MAJOR DHILLON  
Name (Please Print)

C:\Programs\Planning\certification of property owners' mailing list.doc





# CITY OF RANCHO PALOS VERDES

PLANNING, BUILDING, & CODE ENFORCEMENT

## HAZARDOUS WASTE AND SUBSTANCES STATEMENT

The California Environmental Protection Agency (Cal/EPA) has compiled lists of Hazardous Waste and Substances Sites for the entire State of California. Although the current list for the City of Rancho Palos Verdes (reproduced below) is based upon data retrieved from the Cal/EPA web site on October 17, 2006, you should be aware that these lists are revised periodically. Pursuant to Government Code Section 65962.5(f), before the City can accept an application as complete, the applicant must consult the list and indicate whether the project and any alternatives are located on a site, which is included on any such list, and shall specify any list.

### IMPACT CITY: RANCHO PALOS VERDES

STREET ADDRESS	CURRENT USE	FORMER USE	RWQCB CASE No.	CASE STATUS
3860 CREST ROAD	FAA radar site	Same	R-13308	Closed
5656 CREST ROAD	Demolished	Unocal service station	I-06500	Open
5837 CREST ROAD	Calif. Water Svc. Co. maintenance yard	Same	R-05395	Open
5841 CREST ROAD	Verizon facility	Same	R-12296	Closed
5701 CRESTRIDGE ROAD	Belmont Village	Vacant	L472881	Closed
28103 HAWTHORNE BOULEVARD	Valero service station	Same	R-01504	Open
31100 HAWTHORNE BOULEVARD	Shopping center	Same	0586	Closed
28732 HIGHTRIDGE ROAD	Hilltop Automotive	Unocal service station	I-06434	Closed
40 MIRALESTE PLAZA	Auto repair shop	Chevron service station	L469540	Open
96 NARCISSA DRIVE	Residence	Same	R-23219	Closed
6100 PALOS VERDES DRIVE SOUTH	Residence (1 Sea Cove Drive)	Shell service station	R-36348	Closed
6124 PALOS VERDES DRIVE SOUTH	Fire Station No. 53	Same	R-12757	Closed
6560 PALOS VERDES DRIVE SOUTH	Two residences (32504 & 32508 Seawolf Drive)	Chevron service station	R-14832	Closed
6600 PALOS VERDES DRIVE SOUTH	Demolished	Marineland and Texaco service station	R-01409	Closed
31200 PALOS VERDES DRIVE WEST	Abandoned	Unocal service station	I-11074	Closed
31501 PALOS VERDES DRIVE WEST	Point Vicente Interpretive Center	U.S. Military rifle range	N/A	Open
27501 WESTERN AVENUE	Green Hills Memorial Park	Same	R-12803	Open
29421 WESTERN AVENUE	Chevron service station	Same	I-15523	Closed
29505 WESTERN AVENUE	Shopping center	Mobil service station	R-03558	Open
29701 WESTERN AVENUE	Shopping center	Unocal service station	R-05958	Closed

In the event that the project site and any alternatives proposed in the application are not contained on the Cal/EPA lists, please certify that fact as provided below. I have consulted the lists compiled pursuant to Section 65962.5 of the Government Code and hereby certify that the development project and any alternatives proposed in this application are not contained on these lists.

DAVID E. FRANK  
(Applicant)

[Signature]  
(Signature)

4/7/08  
(Date)

### **HAZARDOUS WASTE AND SUBSTANCES STATEMENT**

If the development project and any alternatives proposed in this application are contained on the CAL/EPA lists, please complete the following statement.

1. Name of Applicant: \_\_\_\_\_
2. Address: \_\_\_\_\_
3. Phone Number: Day (\_\_\_\_) - \_\_\_\_\_ Evening (\_\_\_\_) - \_\_\_\_\_
4. Address of Site (Street name and number if available, and ZIP code):  
\_\_\_\_\_
5. Local Agency (City/County): \_\_\_\_\_
6. Assessor's Book, Page, and Parcel Number: \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_
7. Specify any list pursuant to Section 65962.5 of the Government Code:  
\_\_\_\_\_
8. Regulatory Identification Number: \_\_\_\_\_
9. Date of List: \_\_\_\_\_

(Applicant)

(Signature)

(Date)

#### **FOR STAFF USE ONLY**

I have consulted the lists compiled pursuant to Section 65962.5 of the Government Code and hereby certify that the development project and any alternatives proposed in this application are located on a site which: (check one)

\_\_\_\_\_ Is not included in these lists.

\_\_\_\_\_ Is included in these lists, and the project applicant has completed the statement required by Section 65962.5(f) of the Government Code.

\_\_\_\_\_ Is included in these lists, and I have notified the applicant, pursuant to Section 65943 of the Government Code, that he or she has failed to complete the statement required by Section 65962.5(f) of the Government Code by letter dated \_\_\_\_\_.

\_\_\_\_\_  
Staff Signature

Hazardous Waste and Substances Statement  
Page 2 of 2

**STORM WATER PLANNING PROGRAM**  
**PRIORITY DEVELOPMENT/REDEVELOPMENT PROJECTS**

RANCHO PALOS VERDES

Form  
**P1**

Project Name <u>JACK-IN-THE-BOX #382</u>	<b>General Project Certification</b>  <i>A completed original of this form must accompany all SUSMP submittals</i>
Project Location <u>29317 S. WESTERN AVE</u>	
Company Name <u>DHILLON FOODS, INC.</u>	
Address <u>PO. Box 3366, CERRITOS CA 90708</u>	
Contact Name / Title <u>MAJOR DHILLON</u>	
Phone / FAX/Email <u>562.402.3859</u>	

Best Management Practices (BMPs) have been incorporated into the design of this project to accomplish the following goals:

- 1) Minimize impacts from storm water runoff on the biological integrity of Natural Drainage Systems and water bodies in accordance with requirements under CEQA (Cal. Pub. Resources Code § 21100), CWC § 13369, CWA § 319, CWA § 402(p), CWA § 404, CZARA § 6217(g), ESA § 7, and local government ordinances.
- 2) Maximize the percentage of permeable surfaces to allow more percolation of storm water into the ground.
- 3) Minimize the amount of storm water directed to impermeable surfaces and to the MS4.
- 4) Minimize pollution emanating from parking lots through the use of appropriate Treatment Control BMPs and good housekeeping practices.
- 5) Properly design and maintain Treatment Control BMPs in a manner that does not promote breeding of vectors.
- 6) Provide for appropriate permanent measures to reduce storm water pollutant loads in stormwater from the development site.

I certify that this Standard Urban Storm Water Mitigation Plan and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. The information contained herein is, to the best of my knowledge and belief, true, accurate and complete.

  
Property Owner/Developer (signature)

MAJOR DHILLON 3/7/08  
Property Owner/Developer (printed) Title Date  
PRESIDENT

**Post Construction / Maintenance Certification**

Proper operation of Best Management Practices (BMPs) is an important component of reducing pollutants in urban and storm water runoff. As the responsible party, I certify that the BMPs will be implemented, monitored and maintained to ensure their continued effectiveness. In the event of a property transfer, the new owner will be notified of the BMPs in use at this site and must include written conditions in the sales or lease agreement, which requires the recipient to assume responsibility for maintenance and conduct a maintenance inspection at least once a year.

  
Property Owner (signature)

MAJOR DHILLON PRESIDENT 3/7/08  
Property Owner (printed) Title Date

**Signatory requirements:**

This section shall be signed by the landowner. If the landowner is not an individual, the signatures may be from a corporate officer, a manager if the authority to sign has been delegated to the manager, a general partner, or a sole proprietor.

## Definitions:

Pervious surfaces are those that allow storm water runoff to percolate through. Typical pervious surfaces include: grass, gravel, concrete pavers, and some specially designed asphalts.

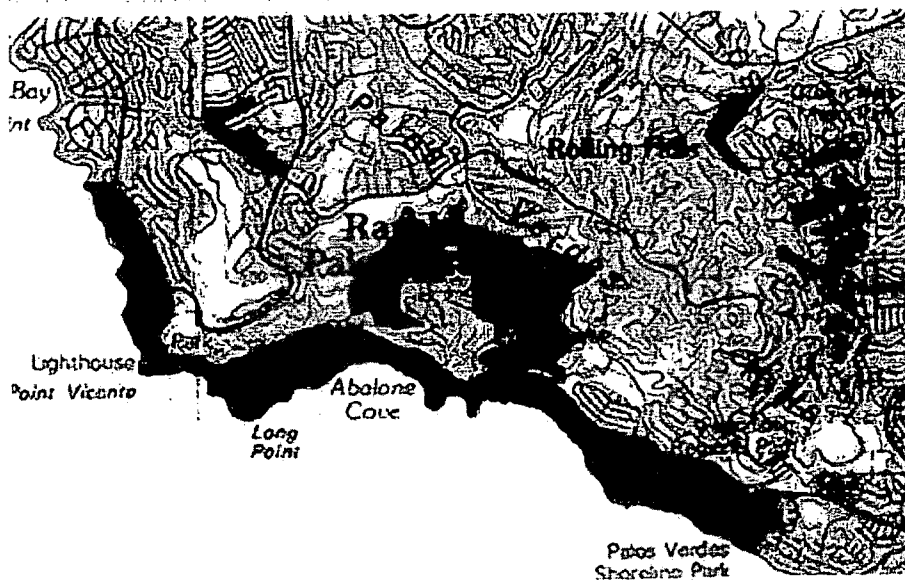
Hillside means property where the slope is 25% or greater and where grading contemplates cut or fill slopes.

Redevelopment means land-disturbing activity that results in the creation, addition, or replacement of 5,000 square feet or more of impervious surface area on an already developed site. Redevelopment includes, but is not limited to: the expansion of a building footprint; addition or replacement of a structure; replacement of impervious surface area that is not part of a routine maintenance activity; and land disturbing activities related to structural or impervious surfaces. It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility, nor does it include modifications to existing single family structures, or emergency construction activities required to immediately protect public health and safety.

Environmentally Sensitive Areas (ESAs) means an area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which would be easily disturbed or degraded by human activities and developments. Also, an area designated by the City as approved by the Regional Water Quality Control Board. (See picture below)

Maintenance Agreement and Transfer: All developments subject to SUSMP and site specific plan requirements provide verification of maintenance provisions for Structural and Treatment Control BMPs, including but not limited to legal agreements, covenants, CEQA mitigation requirements, and or conditional use permits. Verification at a minimum shall include:

- The developer's signed statement accepting responsibility for maintenance until the responsibility is legally transferred; and either
- A signed statement from the public entity assuming responsibility for Structural or Treatment Control BMP maintenance and that it meets all local agency design standards; or
- Written conditions in the sales or lease agreement, which requires the recipient to assume responsibility for maintenance and conduct a maintenance inspection at least once a year; or
- Written text in project conditions, covenants and restrictions (CCRs) for residential properties assigning maintenance responsibilities to the Home Owners Association for maintenance of the Structural and Treatment Control BMPs; or
- Any other legally enforceable agreement that assigns responsibility for the maintenance of post-construction Structural or Treatment Control BMPs.





# STORM WATER PLANNING PROGRAM PRIORITY PROJECT CHECKLIST

FORM  
**PC**

RANCHO PALOS VERDES

Project Name <b>JACK-IN-THE-BOX #382</b>	Owner Name <b>DILLON FOODS, INC.</b>	Developer Name
Project Address <b>29317 S. WESTERN AVE</b>	Owner Address <b>PB BOX 3366</b>	Developer Address
	<b>CERRITOS, CA 90703</b>	
Check/Tract Number	Owner Phone <b>562.402.3859</b>	Developer Phone

## Part 1 - Type of Project

Does the proposed project fall into one of the following categories?	Yes	No
1) Ten or more unit homes, including single and multiple family homes, condominiums, apartments etc.*		X
2) An industrial or commercial development with 100,000 square feet or more of impervious surface*		X
3) An automotive service facility		X
4) A retail gasoline outlet		X
5) A restaurant	X	
6) A parking lot with either 5,000 square feet of impervious surface or with 25 or more parking spaces*	X	
7) Single family hillside - *(one acre or more of surface area)		X
8) Redevelopment projects as defined on back*		X
9) Project located in, adjacent to or discharging directly to an ESA (defined on back) AND creates 2,500* square feet or more of impervious surface area		X

If any of the boxes in Part 1 is checked "Yes", this project will require the preparation of a Standard Urban Stormwater Mitigation Plan (SUSMP) along with a Maintenance Agreement and Transfer (defined on back).

\*Numerical Criteria will apply.

## Part 2 - Project Specific Concerns

Does the proposed project include any of the following elements?	Yes	No
1) Vehicle or equipment fueling areas (retail or private)		X
2) Vehicle or equipment maintenance areas, including repair or washing		X
3) Commercial or industrial waste handling or storage	X	
4) Outdoor handling or storage of hazardous materials		X
5) Outdoor manufacturing areas		X
6) Outdoor food handling or processing		X
7) Outdoor animal care, confinement, or slaughter		X
8) Outdoor horticulture activities		X

If any of the boxes in Part 2 is checked "Yes", this project will require the preparation of a Site Specific Stormwater Mitigation Plan (SSSMP) along with a Maintenance Agreement and Transfer (defined on back).

If boxes in Parts 1 and 2 are both checked "Yes", a combined urban stormwater plan will need to be submitted.

DAVID E. FRANK PRINCIPAL (ARCHITECT) [Signature] 4/1/08  
Applicant Name Applicant Title Applicant Signature Date

cc: One copy of document to Public Works

Form H6A-PC-rev. 5/02



## Planning Best Management Practices

BMP Name	BMP Identification No. and Name	Check if to be used
Car Wash Facility	SC3, Vehicle and Equipment Washing and Steam Cleaning	
Constructed Wetlands	TC3, Constructed Wetlands	
Control of Impervious Runoff	Not applicable	
Efficient Irrigation	Not applicable	
Energy Dissipaters	ESC40, Outlet Protection	
Extended Detention Basins	TC5, Extended Detention Basin	
Infiltration Basins	TC1, Infiltration	
Infiltration Trenches	TC1, Infiltration	
Inlet Trash Racks	Not applicable	
Landscape Design	ESC2, Preservation of Existing Vegetation; ECS10, Seeding and Planting; ESC11, Mulching	X
Linings for Urban Runoff Conveyance Channels	Not applicable	
Materials Management	SC5, Outdoor Loading/Unloading of Materials; SC6, Outdoor Container, Storage of Liquids; SC8 Outdoor Storage of Raw Materials, Products and By-Products	
Media Filtration	TC6, Media Filtration	
Motor Fuel Concrete Dispensing Areas	SC2, Vehicle and Equipment Fueling	
Motor Fuel Dispensing Area Canopy	SC2, Vehicle and Equipment Fueling	
Oil/Water Separators and Water Quality Inlets	TC7, Oil/Water Separators and Water Quality Inlets	
Outdoor Storage	SC6, Outdoor Container Storage of Liquids; SC8, Outdoor Storage of Raw Materials, Products and By-Products	
Porous Pavement and Alternative Surfaces	TC1, Infiltration	
Protect Slopes and Channels	ECS40, Outlet Protection; ESC42, Slope Roughening and Terracing	
Self-Contained Areas for Vehicle or Equipment Washing, Steam Cleaning, Maintenance, Repair, or Material Processing	SC3, Vehicle and Equip. Washing and Steam Cleaning; SC4, Vehicle and Equipment Maintenance and Repair; SC7, Outdoor Process Equipment Operations and Maint.	
Storm Drain System Stenciling and Signage	SC30, Storm Drain Systems Signs	
Trash Container Areas	SC9, Waste Handling and Disposal	X
Vegetated Swales and Strips	TC4, Bio-Filters	
Wet Ponds	TC2, Wet Pond	

Please refer to the California Storm Water Best Management Practice Handbooks for more information.



City of Rancho Palos Verdes  
30940 Hawthorne Blvd.  
Rancho Palos Verdes, CA 90275

**Fees Associated With**  
**Case #: ZON2008-00196**

4/9/2008

2:34:58PM

PAID APR 9 '08

**OWN**  
CHECKERBOARD PROPERTIES, INC  
PO BOX 783  
SAN DIEGO, CA 92112

**APL**  
DAVID FRINK  
3549 CAMINO DEL RIO S.  
SAN DIEGO, CA 92108

Fee Type	Start Date	End Date	Dept	Description	Trans Code	Revenue Account Number	By	Created Date	Amount	Due
SPRM	8/6/2007	12/31/2010		Site Plan Review (Major)		132210	RC	4/9/2008	157.00	157.00
Subtotal for Revenue Acct. 132210									157.00	
DATA	8/6/2007	12/31/2010		Data Processing Fee		322-40	RC	4/9/2008	3.96	3.96
Subtotal for Revenue Acct. 322-40									3.96	
HIST	8/6/2007	12/31/2010		Historic Property Data Fee		322-50	RC	4/9/2008	17.16	17.16
Subtotal for Revenue Acct. 322-50									17.16	

Total Due:

**\$178.12**

For Office Use Only

Receipt No. \_\_\_\_\_

Check No. \_\_\_\_\_

CITY OF RANCHO PALOS VERDES

\*\*\* CUSTOMER RECEIPT \*\*\*

Oper: NANCYV Type: RG Drawer: 1  
Date: 4/09/08 01 Receipt no: 4771

Description	Quantity	Amount
PZ PLANNING & ZONING	1.00	\$157.00
ARCHITECT DAVID FRINK		
DP PLANNING DATA PROCESSING	1.00	\$3.96
HS PLANNING HISTORICAL	1.00	\$17.16

ZON 08 00196

Tender detail		
CK CHECK	1570	\$178.12
Total tendered		\$178.12
Total payment		\$178.12

Trans date: 4/09/08 Time: 13:56:17

\*\*\* THANK YOU FOR YOUR PAYMENT \*\*\*

30940 HANTHORNE BLVD  
RANCHO PALOS VERDES CA 90275  
(310)377-0360



PLANNING, BUILDING, & CODE ENFORCEMENT

January 30, 2003

Mahatabuddin Tipu (General Manager)  
29317 Western Ave.  
Rancho Palos Verdes, CA 90275

Subject: Planning Certification Letter for **Jack In The Box**

Dear Mr. Tipu:

Per your request, I am writing this letter to inform you and your interested parties, that in order to enlarge and/or expand the currently existing Jack In The Box, you will need to fill out and submit a Conditional Use Permit (CUP) application. The CUP application process involves paying a small fee, submitting architectural plans detailing what or how you plan to expand the Jack In The Box. In example, the City's Planning Department will look at the current and future availability of parking at the site, the proposed lot coverage, the overall height of the proposed building, setback requirements, etc. The CUP process is discretionary and involves a public hearing before the City's Planning Commission, at which that time a decision will be rendered on the application.

Thanks for your time and appreciation. If you have any questions for me, please do not hesitate to call me at (310) 544-5228 or email me at [ryanl@rpv.com](mailto:ryanl@rpv.com).

Sincerely,

A handwritten signature in black ink, appearing to read "Ryan Luckert".

Ryan Luckert  
Assistant Planner

Attachments: Conditional Use Permit (CUP) application





RECEIVED

JAN 30 2003

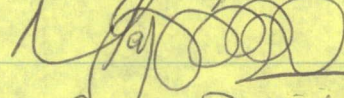
PLANNING, BUILDING,  
& CODE ENFORCEMENT

To Whom it may Concern

This is to authorize Mr. Mahtabuddin Tipu to represent me for relocation of existing Jack in The Box Facility at 29317 S. Western Ave RPV, CA to West side of property at same address.

The plan is to flatten out the existing building as it is very old & to build a new facility of 60 seating capacity on the same lot in year 2006, called mark VIII E. The building is to be 50% bigger in size than the existing one, to meet the demand of guests in next 20 to 25 years. Currently the building has max 30 seats inside and 32 seats patio, but the new building will be 60 seats inside and 32 patio (if feasible). Also the size of the kitchen area will be increased by 50% to accommodate all new cooking equipments & storage facilities. An earliest possible, preliminary letter of consent is requested from planning department of City of Rancho Palos Verdes, as required by the Franchisor (JACK IN THE BOX, Inc.), prior to granting me another 20 years Franchise Agreement.

Thanking You.



MAJOR S. DHILLON

FRANCHISEE  
JACK IN THE BOX #382  
29317 S. WESTERN AVE  
RPV, CA 90275

DATE:- January 25, 2003





**Mahtabuddin Tipu**  
General Manager

**Jack in the Box**  
1127 W. Manchester Ave.  
Inglewood, CA 90301  
Ph. 310.337.0864  
Fax. 310.337.1945

**Jack in the Box**  
29317 S. Western Ave.  
Rancho Palos verdes, CA 90275  
Ph. 310.831.3509  
Fax. 310.856.1573

Pager: (310) 290-2202  
email:mahtabtipu@hotmail.com



City of Rancho Palos Verdes  
30940 Hawthorne Blvd.  
Rancho Palos Verdes, CA 90275

**Fees Associated With**  
**Case #: ZON2003-00042**

1/29/2003  
10:50:40AM

OWN  
CHECKERBOARD PROPERTIES INC  
PO BOX 783  
SAN DIEGO, CA 92112

Fee Type	Start Date	End Date	Dept	Description	Trans Code	Revenue Account Number	Created By	Date	Amount	Due
CERT	1/10/2001	12/31/2005		Planning Certification Letter		132210	TCS	1/29/2003	110.00	110.00
Subtotal for Revenue Acct. 132210									110.00	

Total Due:

**\$110.00**

For Office Use Only

Receipt No. \_\_\_\_\_ Check No. \_\_\_\_\_

PAID JAN 29 '03

CITY OF RANCHO PALOS VERDES  
30940 HAWTHORNE BLVD  
RANCHO PALOS VERDES, CA 90275  
(310) 377-0360

\* Customer Receipt \*

Receipt # : 9916731  
Date : January 29, 2003

CHECKERBOARD PROPERTIES

SS Reference #	Payment	Balance
MC MISC PLANNING	110.00	
*** Payment Total ***:		110.00
Cash		120.00
Change		10.00



RANCHO PALOS VERDES

## FEE RECEIPT FORM

6939

30940 HAWTHORNE BOULEVARD  
RANCHO PALOS VERDES, CA 90275-5391  
(310) 544-5228 • FAX (310) 544-5293DATE: 3/28/01 NAME: X ON-SITE BUILDING TELEPHONE: \_\_\_\_\_ADDRESS: X 3031 CRAWFORD CT CITY: CAMARILLO ZIP: 93012

JOB OWNER: \_\_\_\_\_ JOB TRACT NO.: \_\_\_\_\_

JOB ADDRESS: X 293175 WESTERNRANCHO PALOS VERDESVALIDATION  
(OFFICE  
USE ONLY)

PAID MAR 28 '01

RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND	RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND
PLANNING APPLICATION(S) # _____ # _____ # _____	_____	1-32210	<input checked="" type="checkbox"/> PLAN CHECK FEE <u>Re model</u> TYPE	<u>136.08</u>	1-32310
RESEARCH FEES <input type="checkbox"/> Address File <input type="checkbox"/> Geology File <input type="checkbox"/> Radius Map <input type="checkbox"/> Other: _____	_____	1-32230 1-32340	<input type="checkbox"/> TRUST DEPOSIT _____ TYPE	_____	_____
Document/Printing _____ ITEM(S)	_____	1-32230 1-32340	ENVIRONMENTAL EXCISE TAX	_____	38-3741
Covenant Processing _____ TYPE	_____	1-32210	<input type="checkbox"/> Cash	TOTAL: <u>136.08</u>	
Penalty (\$ _____)	_____	1-32220 1-32330	<input checked="" type="checkbox"/> Check No. <u>1287</u>		
Calculated by <u>Cen</u>	Received by <u>Dancy Vity</u>				



# PROJECT CONTROL SHEET

Application Number: SIGN PERMIT APPLICATION #743  
Related Applications: \_\_\_\_\_  
Date Received: 4/18/95 Fee Received: \$600.00  
Name (Landowner): M. Dhillon  
Project Address: 29317 Western Avenue

## ENVIRONMENTAL REQUIREMENTS

Date

5/1/95

CEQA STATUS: NOT EXEMPT (CLASS 1)

## STAFF ACTION

5/24/95  
6/14/95

Letter mailed  
Letter mailed

## PLANNING COMMISSION ACTION

6/13/95

APPROVED (AS SUBMITTED) VIA MINUTE ORDER

## CITY COUNCIL ACTION





CITY OF RANCHO PALOS VERDES  
PLANNING CLEARANCE

Page \_\_\_ of \_\_\_

THIS FORM, ALONG WITH TWO COPIES OF THE APPROVED PLANS, MUST BE SUBMITTED WHEN APPLYING FOR A BUILDING PERMIT.

PROJECT LOCATION 29317 S. WESTERN LOT NO.: \_\_\_\_\_ TRACT NO.: \_\_\_\_\_

OWNER'S NAME/ADDRESS DILLON / P.O. BOX 6097 RPV CA 90734

PROJECT NO.: SIGN PERMIT # 743 ☐ MINISTERIAL ☒ DISCRETIONARY

PROJECT DESCRIPTION: REPLACE OF ALL JACK-IN-THE-BOX SIGNS

Approval is granted subject to the following conditions:

- AS SUBMITTED (P.C. ACTION 4/13/95)

☐ DUMP DEPOSIT REQUIRED

☐ BUILDING PERMIT REQUIRED

The City strongly urges the applicant for this project to contact the Homeowners Association or local Art Jury, if any, to gain any additional approvals that may be required before applying for a building permit. A list of Homeowners Associations are on file with the Planning, Building, and Code Enforcement Department of Rancho Palos Verdes.

By: Franz de FERNAN  
For Director of Planning, Building, and  
Code Enforcement

Dated\*: 4/4/97

\*THIS APPROVAL SHALL BE NULL AND VOID AFTER 180 DAYS FROM THE DATE NOTED UNLESS THE APPROVED PLANS ARE SUBMITTED TO BUILDING AND SAFETY TO INITIATE THE "PLAN CHECK" REVIEW PROCESS. THIS APPROVAL SHALL ALSO BECOME NULL AND VOID IF AFTER INITIATING THE "PLAN CHECK" REVIEW PROCESS OR RECEIVING A BUILDING PERMIT TO BEGIN CONSTRUCTION, SAID PERMIT OR "PLAN CHECK" IS ALLOWED TO EXPIRE OR IS WITHDRAWN BY THE APPLICANT.

SIGN PERMIT APPLICATION NO. 74

Foolmaker, Inc.  
 Landowner  
9333 Balboa Ave.  
 Address  
San Diego CA 92123  
 City

California Neon Products  
 Applicant  
4530 Mission Gorge Place  
 Address  
San Diego, Ca 92120  
 City

Phone: Home \_\_\_\_\_ Office (619) 571-2137 Phone: Home \_\_\_\_\_ Office 619-283-2191

J382  
 Address of Subject Property: Jack-in-the-Box 29317 S. Western, Rancho Palos Ver.  
 Current Zoning: \_\_\_\_\_  
 Length of Storefront(s): \_\_\_\_\_

## 1. Quantity, Dimensions and Nature of Proposed signs:

Quantity	Dimensions Width X Length X Total Height	Permanent or Temporary	If temporary, give duration
1	<sup>Pole</sup> 6'X6'X6'-OAH-25'	Face Change Only-	
3	9'X9'6" <sup>wall</sup> signs	Face Change Only	

## 2. Number and Dimensions of all existing signs:

Quantity	Dimensions
	Same

3. Briefly describe the purpose and need for each proposed sign.  
Reface existing signs - General Maintenance to improve  
overall appearance of signs. New paint on all cabinets/Pole

4. Unless shown on attached 8 1/2" x 11" plan, indicate Sign Copy.

I certify that the information and materials contained in this application are accurate and complete.

William Motts [W. William Motts  
 Signature of Landowner V.P. - Development

Date: 4/20/95

Gary W. Blakey  
 Signature of Applicant

Date: 4/19/95



RANCHO PALOS VERDES

June 14, 1995

California Neon Products  
4530 Mission Gorge Place  
San Diego, CA 92120

To Whom It May Concern:

On June 13, 1995, the Planning Commission approved, via Minute Order, your application for Sign Permit No. 743, as requested.

The decision is final unless appealed, to the City Council in writing with a filing fee of \$940.00 and 12 sets of plans, within fifteen (15) calendar days (starting the day after the Commission's decision). The appeal period will expire on June 28, 1995. Should no appeal be filed, the plans will be stamped and cleared. Please note that no building permit will be required as long as the work to be done involves the face change only. Planning approval is valid for 180 days; **if you do not complete the project within said period of time, your Planning approval will expire.**

Should you have questions, please do not hesitate to call me at (310) 377-6008.

Sincerely,

**Planning, Building, and Code  
Enforcement Department**  
Bret B. Bernard, Director

**Fabio de Freitas,**  
Project Planner

cc: Foodmaker Inc.  
9330 Balboa Avenue  
San Diego, CA 92123

Major Dhillon  
P.O. Box 6097  
San Pedro, CA 90734

dsk13/sp743fo



~~Commissioner Whiteneck moved to accept the Staff Recommendation, seconded by Commissioner Wang. Approved, (6-0).~~

6. SIGN PERMIT NO. 743; Foodmaker Inc. (Jack in the Box), 29317 Western Avenue (FF).

Commissioner Alberio moved to waive reading of the Staff Report, seconded by Commissioner Vannorsdall. Approved, (6-0).

Chairman Mowlds called the applicant's representative to the speaker's podium for questions from the Commission.

Mr. Tim Ribant, (applicant's representative), 9330 Balboa Avenue, San Diego, CA 92123. Mr. Ribant explained that he worked in the corporate office of Foodmaker, who owned the Jack in the Box site, and that the operator, Mr. Dillon, was also present.

Commissioner Vannorsdall asked Mr. Ribant if he had read the Staff Report, understood the conditions and if he had a preference between Options No. 1 and No. 2.

Mr. Ribant said that he had read and understood the Staff Report and that he preferred Option No. 3. He stated that the Staff Report pointed out that the Jack in the Box franchise was being asked to change signage as a corporate mandate. He noted that there were other signs in the area, such as those at Val-U-Mart and the Karate Studio, that he suspected did not comply with City standards. He disagreed that there was no public access on the north side of the building, as mentioned in the Staff Report, stating that there was access on both sides. Mr. Ribant asked if the two palm trees, 20 to 25 feet in height and blocking the pole sign, might be trimmed or replaced, even though they were located on an adjacent property. He concluded by urging the Commission to approve Staff's Option No. 3 to allow the signage as requested by the applicant.

Planning Administrator Petru informed Mr. Ribant that the faces on the two signs he mentioned, Val-U-Mart and the Karate Studio, were installed without City permits.

Commissioner Alberio believed that the Rancho Palos Verdes businesses on Western Avenue needed help in competing with businesses across the street in the City of Los Angeles, which had less stringent sign regulations. He felt concessions should be made.

Commissioner Ferraro thought the pole sign should stay because it had been there a long time and no one had complained about it. She felt it was less obtrusive than some of the other signs in



the area, since it was merely a tall, thin pole with the logo on top. She wanted the City to support these businesses and was in favor of Option No. 3.

Commissioner Whiteneck and Commissioner Wang both said they agreed with Commissioner Ferraro.

Commissioner Vannorsdall believed the pole sign should come down because there were too many signs along Western. In addition, the pole sign was not visible from the southbound traffic lanes and did not adequately identify the business.

Commissioner Alberio supported retaining the pole sign since he thought it was appropriate for a commercial area.

**Commissioner Alberio moved to approve Staff Option No. 3, seconded by Commissioner Wang.**

Chairman Mowlds clarified that Option No. 3 approved the application as submitted by Foodmaker, granting all their requests, including re-facing the pole sign.

**The motion was approved, by Minute Order, (5-1) on the following vote:**

**AYES:** Commissioners Alberio, Ferraro, Wang, Whiteneck,  
Chairman Mowlds

**NOES:** Commissioner Vannorsdall

Director/Secretary Bernard stated that there was no notice of this hearing sent to the neighbors, as it was not required in this case. In addition, he noted that the palm trees would die if they were trimmed and that the property owner would probably want them to be replaced in some manner.

#### ITEMS TO BE PLACED ON FUTURE AGENDAS

##### Staff:

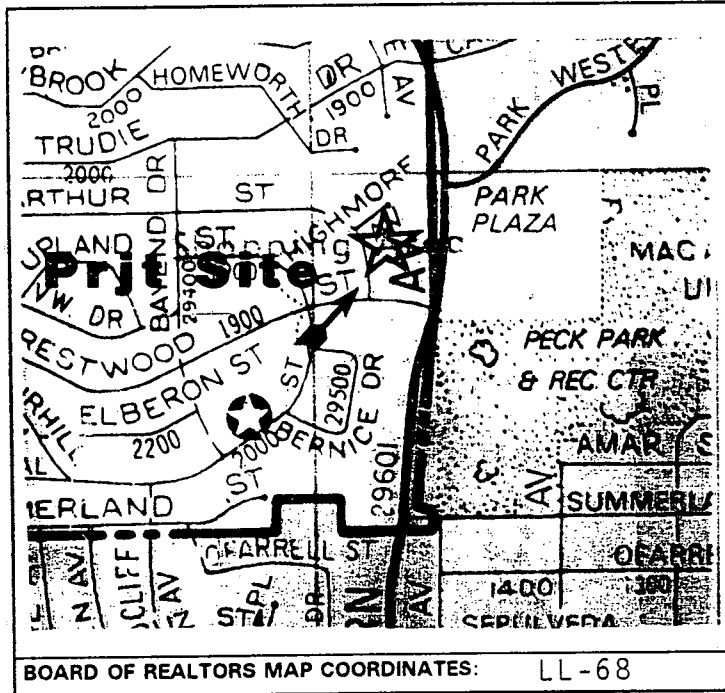
7. Pre-Agenda for the regular Planning Commission meeting of Tuesday, June 27, 1995.

Planning Administrator Petru stated that a Continued Business item, a continuation of the appeal of Height Variation No. 806 (Mantikas), was not on the Pre-Agenda, but that it would be on the agenda for the June 27, 1995 meeting.

# STAFF REPORT



RANCHO PALOS VERDES



TO: CHAIRMAN AND MEMBERS OF  
THE PLANNING COMMISSION

FROM: DIRECTOR OF PLANNING  
BUILDING, AND CODE ENFORCEMENT CP for

DATE: JUNE 13, 1995

SUBJECT: SIGN PERMIT NO. 743

PROJECT ADDRESS: 29317 S. WESTERN

APPLICANT: CALIFORNIA NEON PRODUCTS  
4530 MISSION GORGE PLACE  
SAN DIEGO, CA 92120

PHONE: (619) 283-2191

LANDOWNER: FOODMAKER, INC.  
9330 BALBOA AVE.  
SAN DIEGO, CA 92123

PHONE: (619) 571-2137

STAFF COORDINATOR: FABIO DE FREITAS, ASSISTANT PLANNER F

REQUESTED ACTION: REFACE ALL OF THE EXISTING IDENTIFICATION SIGNS.

RECOMMENDATION: ALLOW THE REFACING OF THE WALL-MOUNTED SIGNS AND REQUIRE  
THE APPLICANT TO REMOVE THE POLE-MOUNTED SIGN.

## REFERENCES:

ZONING: CG

LAND USE: RESTAURANT

CODE SECTIONS: 17.52.020

GENERAL PLAN: COMMERCIAL

TRAILS PLAN: N/A

SPECIFIC PLAN: N/A

CEQA STATUS: CATEGORICALLY EXEMPT  
(CLASS II)

ACTION DEADLINE: JULY 18, 1995

(LETTERS & MISC. #29 [NA] a:cnpsp743.sr



**Sign Permit No. 743**  
**June 13, 1995**

### **BACKGROUND**

In December 1986, as part of a Sign Amortization Program for Western Avenue, the franchise owner was notified by the City that the freestanding pole sign and illuminated roof mounted signs were subject to a five year amortization period which ended on December 12, 1991. In November 1987, the Planning Commission reviewed an application for Sign Permit No. 356, a request to review several signs that had been erected on the site without permits, as well as some additional new signage. The sign that received most of the Commission's attention at the hearing was the existing 24 foot freestanding pole mounted sign (see attached excerpt Minutes).

Staff's recommendation for the Sign Permit No. 356 was to replace the pole sign with a monument sign measuring 6 feet high and 5 feet wide, which would comply with the Development Code's standards. The recommendation also included allowing only one 33 square foot roof mounted sign. Although several Commission members indicated their support for Staff's recommendation (again, see attached excerpt minutes), the decision was made to continue the item to allow Staff and the applicant the opportunity to develop alternatives to the applicant's proposal.

The last correspondence between the City and the applicant regarding this matter was in September 1988, at which time the City queried as to the applicant's intent to meet with Staff, as directed by the Planning Commission. The City apparently never received a response from the applicant and the non-conforming signs still remain on the subject property.

An application for Sign Permit No. 743 was submitted to the Planning, Building, and Code Enforcement Division on April 18, 1995. The application was deemed to be generally complete on May 1, 1995.

### **SITE AND PROJECT DESCRIPTION**

The project site is a 22,464 square foot parcel which is developed with an 1,899 square foot fast food restaurant (Jack-In-The-Box). The property is zoned Commercial General (CG).

The freestanding pole sign measures 24 feet above grade. Each panel of the four sided sign at the top of the pole measures 4'-6" x 4'-6". The roof mounted signs measure 9'-6" x 9'-0" and are located on the north, south, and east facades of the building. As stated previously, these signs were subject to a five year amortization period which expired on December 12, 1991. However, in January 1994, the City Council directed Staff not to pursue the Sign Amortization Program in anticipation of the preparation of a Specific Plan for Western Avenue, which may provide

Sign Permit No. 743  
June 13, 1995

different sign standards for this commercial corridor. However, the Planning Commission can still consider individual requests for Sign Permits on a case by case basis. Jack-In-The-Box locations throughout the area are undergoing cosmetic upgrades with respect to their buildings and signs. The applicant is proposing to reface the existing pole sign and three (3) roof mounted signs with the company's current identification logo. Other than the new signs faces, the signs will not change in size or shape.

### CODE CONSIDERATION AND ANALYSIS

The Development Code establishes criteria for review of sign applications and states that sign applications which do not meet the limitations of Chapter 17.52 may be submitted to the Planning Commission.

Generally, the Code provides that signs should primarily identify the general nature of an establishment or direct attention to the primary product, activity, place, person, organization, or enterprise. Signs must harmonize with the building, the neighborhood, and other signs in the area. Also, signs shall not have any adverse effect on the value and character of the adjacent residential district.

Specifically, a freestanding sign not to exceed 6 feet in overall height may be permitted with the approval of the Director of Planning, Building, and Code Enforcement if it is the major identification sign. Any higher freestanding sign may be approved by the Commission for shopping centers containing four or more individual establishments having a wide frontage (200 feet or more), or for large individual developments having a wide frontage (200 feet or more) and a deep setback (40 feet or more). In that the site does not satisfy either of these two criteria, there is no provision in this Code Section that would allow for a taller freestanding identification sign on the subject property.

#### Roof Mounted Signs:

Development Code Section 17.52.065 contains the following criteria which must be adhered to for permanent identification signs in a Commercial General (CG) district. (The Code criteria appears in **bold** type and Staff's analysis follows each criteria in regular type):

- B. **Permanent identification signing shall be permitted with permits subject to the following provisions:**

- 1) **One major identification sign shall be permitted on each building frontage wherein a public entry is located, except that a sign shall be permitted upon any street side of the building. Such signs shall not exceed an area of one square foot for each lineal foot of building frontage, up to a maximum of 100 square feet.**

As depicted on the attached set of plans, the signs on the south (left side) and east (front side) elevations of the building satisfy the aforementioned criteria. However, the roof mounted sign on the north (right side elevation) is not located on an elevation with a public entry, nor is it a street side elevation. Staff conducted a search of Sign Permit applications that the Commission reviewed in the general area regarding similar requests. In 1992, the Commission reviewed Sign Permit Application No. 585, for the Valvoline Instant Oil Change facility located at 28915 S. Western Avenue. The applicant was seeking approval for wall mounted signs on the north and south elevations of the subject building. The Commission denied the request, stating that the existing monument sign and the wall mounted sign on the street side elevation provided sufficient identification for the site.

As discussed below, Staff is recommending that the pole sign be removed. Therefore, even though there is no public entrance on the north elevation of the building, Staff recommends that the third roof mounted sign be permitted in order to provide visibility for the restaurant from the southbound traffic lanes on Western Avenue. As an alternative, the roof mounted sign on the north elevation could be removed if the Commission decides to allow the franchise owner to remove the pole mounted sign and replace it with a freestanding monument sign. Either of these two options would provide visible sign frontage along Western Avenue for passersby travelling in a southerly direction.

- 2) **All faces of such signs shall be parallel to the face of the building upon which the sign is located:**

The roof mounted signs are flush with the sides of the roof onto which they are attached and appear as though they are integrated with the design of the mansard roof without creating the appearance that they are actually separate members of the roof.

- 3) **Signs shall not extend above the eave line or parapet of the building.**

The subject signs satisfy this criteria.

Sign Permit No. 743  
June 13, 1995

Pole Sign:

The remaining analysis will be directed to the existing pole sign. Section 17.52.020(c) of the City's Development Code indicates that the Planning Commission shall review any requests for monument signs that exceed 6'-0" in overall height. The referenced Code Section contains the following criteria (which appears in **bold type**); Staff's analysis follows each criteria in regular type:

- 1) **The sign is necessary for the applicant's enjoyment of substantial trade and property rights and the sign does not constitute needless repetition, redundancy, or proliferation of signing;**

It is Staff's opinion that if the Commission grants the refacing of the three existing roof mounted identification signs situated on three separate building facades, the pole sign, with its scale and multiple sign faces would constitute needless repetition and redundancy in identifying the business. As discussed previously, the subject property does not satisfy the Code criteria to justify the need for a freestanding sign over 6 feet in height. In addition, even if the property met these criteria, the 24 foot high sign is 8 feet higher than the Code's 16 foot height limit for freestanding signs.

- 2) **The sign is consistent with the intents and purposes of this Chapter (17.52), as set forth in Section 17.52.010;**

Staff believes that the pole sign subjects passersby to excessive competition for their visual attention as well as contributing to the needless clutter of signs in the area. These findings are not consistent with the intents and purposes of this Chapter.

- 3) **The sign does not constitute a detriment to public health, safety, and welfare;**

Aside from it representing a proliferation of identification signs on the site, the pole sign does not otherwise constitute a detriment to the public health, safety, and welfare.

- 4) **Size, shape, color, and placement of the sign shall be considered in order to determine if the sign is compatible with and bears a harmonious relationship to the building and/or site which it identifies;**

The size, shape, and color of the faces on the pole sign would be identical, and therefore, compatible with the building signs. However, the pole sign actually measures 2.5 feet taller than the restaurant itself, thus creating a structure (the sign) that is out of scale when compared to the building. Therefore, the size and placement of the freestanding sign is not harmonious with the building or the site.

Sign Permit No. 743  
June 13, 1995

- 5) **Both the location of the proposed sign and the design of its visual elements: lettering, colors, decorative motifs, spacing, and proportions shall be considered in order to determine that the sign is legible under normal viewing conditions prevailing where the sign is to be installed;**

As depicted by the photographs to be presented to the Planning Commission at the hearing, the pole mounted sign is not visible to passersby traveling south along Western Avenue due to the two palm trees that are situated next to the sign. In that the trees appear to be located on the adjacent property, the sign would be impaired from viewing from the direction mentioned above, unless the adjacent property owner would agree to trim the palm trees. The sign is therefore not useful for identifying the establishment to southbound traffic along Western Avenue.

- 6) **The location and design of the proposed sign shall be considered in order to determine that the sign will not obscure from view or unduly detract from existing adjacent signs:**

It is Staff's opinion that the pole sign does not obscure the view of other existing signs in the area. However, it does take the viewer's attention away from the restaurant itself as well as other signs that identify the various tenants residing in the commercial property located immediately to the north of the subject property.

- 7) **The location and design of the proposed sign, its size, shape, and color shall be considered in light of the visual characteristics of the surrounding area in order to determine that the sign will not detract from or cause depreciation of the value of adjacent developed properties;**

The subject property, as well as most of the other properties along Western Avenue is zoned for commercial uses (CG). As a result, many other monument signs of various sizes currently exist along this commercial corridor. However, these other signs, for the most part, are consistent with the standards established in this Code Section, for freestanding identification signs. Allowing the existing pole sign to remain, would be contrary to the City's Code and would be inconsistent with the other freestanding signs previously approved by the Commission on Western Avenue.

- 8) **The location and design of a proposed sign in commercial districts in close proximity to any residential district shall be considered in order to determine that the sign shall not have any adverse effect on the value and character of the adjacent residential district;**

The existing pole sign does not have any impacts on the adjacent residential district.



Sign Permit No. 743  
June 13, 1995

### ADDITIONAL INFORMATION

Prior to the submittal of Sign Permit No. 743, Staff met with a representative from the applicant to discuss the history of the project. Although Staff informed the representative that retention of the existing pole sign had been previously discouraged, the submitted Sign Permit application did not reflect any changes to said sign.

### CONCLUSION

It is Staff's opinion that the proposed face changes to the existing roof mounted signs should be approved since the signs are integral to the design of the building (as well as important for the identification of the building) given that the pole mounted sign is removed and no freestanding monument sign is allowed. However, with respect to the pole sign, Staff believes that said sign does not satisfy the criteria established in Development Code Section 17.52.020 and should be removed from the site.

### ALTERNATIVES

The alternatives available for the Planning Commission's consideration include:

- 1) Approve Sign Permit No. 743, via Minute Order, to allow the three roof mounted signs to be refaced with the company's new identification logo and require the applicant to remove the existing pole sign, subject to the following conditions; (*Staff's recommendation*):
  - a) The roof mounted signs shall conform to the plans date stamped as received by the Planning, Building, and Code Enforcement Department on April 18, 1995.
  - b) Other than the new sign faces, no other modifications to the roof mounted signs shall be made.
  - c) The franchise owner shall remove the existing pole sign **within 30 days** of this decision becoming final.
- 2) Approve Sign Permit No. 743, via Minute Order, to allow the roof mounted signs on the east and south elevations to be refaced; require the applicant to remove the pole sign and roof mounted sign on the north elevation; and allow the applicant to install a 6 foot high monument sign, subject to the review and approval by the Director.
- 3) Approve Sign Permit No. 743, via Minute Order, as submitted.

**Sign Permit No. 743**  
**June 13, 1995**

- 4) Deny Sign Permit No. 743 and require that the applicant bring all of the signs into compliance.

**Attachments:**

November 10, 1987 (excerpt) Minutes  
Project Application  
Project Plans

dsk13/sp743

P.C.  
Minutes

November 10, 1987

Page 7

~~Commissioner Wike moved approval of Variance No. 178 with the Conditions of Approval as included in Alternative No. 3 with the understanding that the City will attempt to approve the application with the existing geology; however, if it is inadequate, additional reports must be provided. The motion was seconded by Commissioner Connolly and passed unanimously.~~

~~Appeal rights were noted.~~

#### CONTINUED BUSINESS

Sign Permit No. 356  
Dhillon, Foodmaker, Inc.  
29317 Western

Assistant Planner Paul Merrett  
presented the staff report.

Chairperson Ortolano invited  
interested parties to speak to  
the item.

Mr. Major Dhillon, 29317 So. Western, applicant, discussed: the financial hardships related to an approval of the staff recommendation; his desire that the existing signage remain with the understanding that it would be brought into compliance at the end of the amortization period; and the importance of the window banners.

Commissioner Von Hagen noted problems related to drive-thru speaker boxes near residential areas. He mentioned the clutter of signage at the location and pointed out that a reduction thereof would offer the applicant more flexibility for the banner signs which are necessary to advertise the specials. He related his support of Attachment "A" as included in the staff report.

Chairperson Ortolano stressed that the applicant's logo will draw attention to the site. She emphasized her support of the sign amortization program along Western from which she is reluctant to deviate. She stressed that the applicant should be granted no more signage than will be allowed at the end of the amortization period. She related her support to continue the item in order to allow further analysis of the request.

Commissioner Connolly related his opinion that the maximum amount of signage allowed by the Code would be appropriate.

Commissioner Wike expressed her concern over the proposed banner signs and indicated that no more than one of same should be allowed.

Staff pointed out that the nearest residential area would not be affected by the one drive-thru speaker box at the location. Staff discussed the specifics of the request and provided input regarding the Code considerations related to the window banner signs.

Director of Environmental Services Benard explained that an approval of the staff recommendation would require a reduction in the pole sign to no higher than 6 feet.

Commissioner Wike moved to continue the item in order to allow the applicant to further discuss the item with staff; seconded by Commissioner Von Hagen and passed unanimously.

#### NEW BUSINESS

GR No. 1050  
Modern International  
Technical, Noriaki Ito  
6461 Chartres Drive

The reading of the staff report was waived.

There were no requests to speak to the item.

Commissioners Connolly and Wike and Chairperson Ortolano stressed that the size of the proposed project should be scaled down to reduce the excessive amount of proposed grading on the extreme slope.

Commissioner Von Hagen related his support of the staff recommendation. He expressed his opinion that the proposed grading would not be a paramount problem and that other criteria, such as the placement of the home on the lot, are equally as important.

Staff commented on the recommended driveway modifications and indicated that alternatives to the proposed driveway should be explored in order to reduce the steepness thereof. Staff discussed that the proposed location of the home would be more aesthetically pleasing than various alternative locations which would necessitate cutting into the slope.

Director of Environmental Services Benard explained that the relocation of the proposed project closer to the street would necessitate cutting into the slope which would be inconsistent with the Development Code.

Commissioner Von Hagen moved to continue the item; seconded by Commissioner Connolly and passed unanimously.

\*\*\*At 9:40 PM there was a brief recess until 9:50 PM when the meeting was reconvened in regular agenda order.\*\*\*



# RANCHO PALOS VERDES

May 24, 1995

Foodmaker, Inc.  
9330 Balboa Avenue  
San Diego, CA 92123

SUBJECT: SIGN PERMIT NO. 743

PROJECT LOCATION: 29317 S. WESTERN AVENUE (Jack-in-the-Box)

To whom it may concern:

Please be advised that your item (referenced above) is scheduled to be heard by the Planning Commission on Tuesday, June 13, 1995, at 7:00 p.m. in the City Council Chambers, Hesse Park, located at 29301 Hawthorne Boulevard, Rancho Palos Verdes.

A copy of the staff report for this item and the agenda can be picked up at the Planning, Building, and Code Enforcement Department after 10:00 a.m. on the Friday before the scheduled meeting. Please call us to let us know if you wish to pick them up; otherwise, they will be mailed to you with expected delivery by Monday before the meeting.

Also, please be prepared to accommodate visits by Planning Commissioners over the weekend or on Monday or Tuesday prior to the meeting.

Should you have any questions or require additional information, please contact me at (310) 377-6008.

Sincerely,

Department of Planning, Building, &  
Code Enforcement

Bret B. Bernard, Director

Fabio de Freitas  
Project Planner

FF:na

cc: California Neon Products  
4530 Mission Gorge Place  
San Diego, CA 92120

(LETTERS & MISC.#29 [NA] a:f-sp743.let)



*Lauri's Permit Service*

4-28-95

3320 E. CHAPMAN AVE., SUITE 281  
ORANGE, CA 92669  
PHONE (714) 975-8367  
FAX (714) 744-8173

RECEIVED  
APR 26 1995  
PLANNING, BUILDING  
& CODE ENF.

Enclosed please find the original  
signed application for Jack in  
the box SP 743.

Thank you

Sincerely

Lauri Burke



Png  
RANCHO PALOS VERDES

May 2, 1995

William Motts  
Foodmaker Inc.  
9330 Balboa Avenue  
San Diego, CA 92123

SUBJECT: SIGN PERMIT APPLICATION #743

PROJECT ADDRESS: 29317 Western Avenue

Dear Mr. Motts:

On April 18, 1995, the application listed above was submitted to the Planning, Building and Code Enforcement Department for processing. Pursuant to State Law, the City's Staff completed a preliminary review of the application on May 1, 1995, and determined that the information submitted is generally complete to begin processing the application. Please note that the City may require further information in order to clarify, amplify, correct, or otherwise supplement existing or future data. If the City requires such additional information, it is strongly suggested that you supply same in a timely manner in order to avoid any delay in the processing of the application.

Fabio de Freitas is the planner who has been assigned to this project and will be contacting you to schedule a site visit and/or discuss the staff evaluation of the project. If you have any further questions regarding the processing of your application after receiving this notice, please direct your inquiries to Fabio at (310) 377-6008.

Sincerely,

Department of Planning, Building,  
and Code Enforcement  
Bret B. Bernard, Director

*Carolynn Petru*

Carolynn Petru  
Planning Administrator

CP:na

cc: California Neon Products  
M. Dhillon

(Letters #29 [CM] - a:m-sp743.cl)

05/01/1994 22:35

3103371945

JACK IN THE BOX

310 337 1945

P.02

SIGN PERMIT APPLICATION NO. 743

M. Dhillon  
 Landowner  
P.O. Box 6097  
 Address  
Rancho Palos Verdes  
 City  
Ca 90734

California Neon Products

Applicant

4330 Mission Gorge Place

Address

San Diego, Ca. 92120

City

Phone: Home \_\_\_\_\_ Office 310-831-3509 Phone: Home \_\_\_\_\_ Office (619) 283-2191

Address of Subject Property: 29317 S. Western

Current Zoning: \_\_\_\_\_

Length of Storefront(s): \_\_\_\_\_

## 1. Quantity, Dimensions and Nature of Proposed signs:

Quantity	Dimensions Width X Length X Total Height	Permanent or Temporary	If temporary, give duration
	<u>6' X 6' X 6'</u>	<u>Face Change ONLY</u>	
	<u>LUBE @ 25' OAK</u>		
<u>3</u>	<u>9' X 9' 6" wall</u>	<u>Face Change Only</u>	

## 2. Number and Dimensions of all existing signs:

Quantity	Dimensions
	<u>Same</u>

## 3. Briefly describe the purpose and need for each proposed sign.

Reface existing signs General Maintenance to improve  
overall appearance of signs New paint to Faces, same Copy

## 4. Unless shown on attached 8 1/2" x 11" plan, indicate Sign Copy.

Jack In The Box

I certify that the information and materials contained in this application are accurate and complete.

Signature of Landowner [Signature]Date: 3/14/95Signature of Applicant [Signature]Date: 3-8-95



RANCHO PALOS VERDES

## **FAX COVER SHEET**

**TO:** CALIFORNIA NEON **ATTN:** GARY BLAKELY  
**FAX NO.:** 619/283-9503 **TEL. NO.:** 619/283-2191  
**FROM:** DONNA JEREX **DATE:** April 13, 1995

**TOTAL PAGES SENT (INCLUDING THIS PAGE: 3**

**GARY:**

PER YOUR REQUEST, WHAT FOLLOWS IS ANOTHER COPY OF A SIGN PERMIT FOR JACK-IN-THE-BOX. PER THE INSTRUCTIONS ON THE APPLICATION, PHOTOGRAPHS ARE NOT REQUIRED, BUT THEY ARE HELPFUL IF YOU WOULD LIKE TO INCLUDE THEM.

AS WE DISCUSSED, THE LANDOWNER'S SIGNATURE IS REQUIRED BEFORE WE CAN ACCEPT THE APPLICATION FOR PROCESSING.











# California Neon Products

4530 Mission Gorge Place, San Diego, CA 92120  
Ph: 619-283-2191 Fax: 619-283-9503

## FAX TRANSMITTAL

**Date:** 3/30/95 **Time:** 4:00PM  
**To:** Dept. of Bldg. & Safety **Fax Phone:** 310-377-8659  
Rancho Palos Verdes  
**From:** Gary Blakeley **Fax Phone:** 619-283-9503  
**RE:** Variance for Jack #382  
**Number of Pages:** 1 (including this one)  
**CC:**

### MESSAGE:

Attn: Donna Jerex  
Associate Planner

We have decided to process an Appeal of the city's Signage Regulations to enable us to reface the existing signs at the Jack-in-the-Box located at 29317 S. Western Ave. Please provide me with all the necessary forms, instructions and sign ordinances.

Any additional information on time frames and any suggestions for making a smoother application will be greatly appreciated.

Thank you for your assistance.

*Gary Blakeley*

Gary Blakeley  
Project Manager

*4/12/95*


*Per P: No Neon*

*No Variance, no matter what size*

*VBZ → DJ*  
*03/04*  
- DID YOU GET A COPY?  
- HAVE YOU STARTED  
APPEAL PROCESS  
W/ THEM?  
- PLEASE INFORM  
*(CP)*

TA

*DJ*

I CALLED MR. BLAKELEY, TUES, 5:15, LEFT A MESSAGE W/ HIM TO GIVE ME A CALL RE:  SIGNS

*Donna -*  
*+ talked to Mr. Blakeley on 4/6*  
*& FAXed him a*  
*Sign Permit application*  
*to the P.C.*  
*(CP)*

# PHONE CALL

FOR <u>Donna</u>	DATE <u>4/12</u>	TIME <u>11:33</u>	A.M. P.M.
M <u>Gary Blakely</u>			<input checked="" type="checkbox"/> TELEPHONED
OF <u>Calif. News</u>			<input type="checkbox"/> RETURNED YOUR CALL
PHONE <u>800-822-6366</u>	AREA CODE	NUMBER	EXTENSION
FAX#			<input checked="" type="checkbox"/> PLEASE CALL
MESSAGE <u>re: Jack-in-the-Box</u>			<input type="checkbox"/> WILL CALL AGAIN
<u>in RPV</u>			<input type="checkbox"/> CAME TO SEE YOU
			<input type="checkbox"/> WANTS TO SEE YOU
SIGNED <u>[Signature]</u>			Adams SC 1154D





RANCHO PALOS VERDES

# FEE RECEIPT FORM

30940 HAWTHORNE BOULEVARD  
RANCHO PALOS VERDES, CA 90275-5391  
(310) 377-6008  
FAX (310) 377-8659

RECEIVED OF  
PAYER:

Lauris Permit Service

TELEPHONE

714-975-8369

ADDRESS:

3320 E. Chapman #281

CITY

Orange

ZIP

92669

JOB OWNER:

Jack in the Box

JOB ADDRESS  
OR TRACT NO.:

29317 Western

OWNER'S ADDRESS:

29317 Western Ave

VALIDATION  
(OFFICE  
USE ONLY)

04/18/95 RPV

9\*#  
D132210  
\$AMT\$ 600.00  
CHK 600.00  
7585A000 11:04

RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND	RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND
PLANNING APPLICATION SP # 743	600.00	132210	<input type="checkbox"/> PLAN CHECK FEE (Type)		
DOCUMENT/PRINTING			<input type="checkbox"/> OTHER		
PARKLAND FEE Project #			<input type="checkbox"/> OTHER		
DUMPING DEPOSIT			ENVIRONMENTAL EXCISE TAX		
BUSINESS LICENSE			Check No. 09844	TOTAL 600.00	1
PENALTY					
BOND DEPOSIT					
Calculated by [Signature]	Received by [Signature]				



Commissioner Whiteneck moved to accept the Staff Recommendation, seconded by Commissioner Wang. Approved, (6-0).

6. SIGN PERMIT NO. 743; Foodmaker Inc. (Jack in the Box), 29317 Western Avenue (FF).

Commissioner Alberio moved to waive reading of the Staff Report, seconded by Commissioner Vannorsdall. Approved, (6-0).

Chairman Mowlds called the applicant's representative to the speaker's podium for questions from the Commission.

Mr. Tim Ribant, (applicant's representative), 9330 Balboa Avenue, San Diego, CA 92123. Mr. Ribant explained that he worked in the corporate office of Foodmaker, who owned the Jack in the Box site, and that the operator, Mr. Dillon, was also present.

Commissioner Vannorsdall asked Mr. Ribant if he had read the Staff Report, understood the conditions and if he had a preference between Options No. 1 and No. 2.

Mr. Ribant said that he had read and understood the Staff Report and that he preferred Option No. 3. He stated that the Staff Report pointed out that the Jack in the Box franchise was being asked to change signage as a corporate mandate. He noted that there were other signs in the area, such as those at Val-U-Mart and the Karate Studio, that he suspected did not comply with City standards. He disagreed that there was no public access on the north side of the building, as mentioned in the Staff Report, stating that there was access on both sides. Mr. Ribant asked if the two palm trees, 20 to 25 feet in height and blocking the pole sign, might be trimmed or replaced, even though they were located on an adjacent property. He concluded by urging the Commission to approve Staff's Option No. 3 to allow the signage as requested by the applicant.

Planning Administrator Petru informed Mr. Ribant that the faces on the two signs he mentioned, Val-U-Mart and the Karate Studio, were installed without City permits.

Commissioner Alberio believed that the Rancho Palos Verdes businesses on Western Avenue needed help in competing with businesses across the street in the City of Los Angeles, which had less stringent sign regulations. He felt concessions should be made.

Commissioner Ferraro thought the pole sign should stay because it had been there a long time and no one had complained about it. She felt it was less obtrusive than some of the other signs in

the area, since it was merely a tall, thin pole with the logo on top. She wanted the City to support these businesses and was in favor of Option No. 3.

Commissioner Whiteneck and Commissioner Wang both said they agreed with Commissioner Ferraro.

Commissioner Vannorsdall believed the pole sign should come down because there were too many signs along Western. In addition, the pole sign was not visible from the southbound traffic lanes and did not adequately identify the business.

Commissioner Alberio supported retaining the pole sign since he thought it was appropriate for a commercial area.

**Commissioner Alberio moved to approve Staff Option No. 3, seconded by Commissioner Wang.**

Chairman Mowlds clarified that Option No. 3 approved the application as submitted by Foodmaker, granting all their requests, including re-facing the pole sign.

**The motion was approved, by Minute Order, (5-1) on the following vote:**

**AYES: Commissioners Alberio, Ferraro, Wang, Whiteneck, Chairman Mowlds**

**NOES: Commissioner Vannorsdall**

Director/Secretary Bernard stated that there was no notice of this hearing sent to the neighbors, as it was not required in this case. In addition, he noted that the palm trees would die if they were trimmed and that the property owner would probably want them to be replaced in some manner.

#### ITEMS TO BE PLACED ON FUTURE AGENDAS

##### Staff:

7. Pre-Agenda for the regular Planning Commission meeting of Tuesday, June 27, 1995.

Planning Administrator Petru stated that a Continued Business item, a continuation of the appeal of Height Variation No. 806 (Mantikas), was not on the Pre-Agenda, but that it would be on the agenda for the June 27, 1995 meeting.



recommendation, the public hearing regarding the remainder of the Development Code was continued to July 11, 1995.

2. APPEAL OF TENTATIVE PARCEL MAP 23912, ENVIRONMENTAL ASSESSMENT NO. 661, GRADING PERMIT NO. 1727, AND GRADING PERMIT NO. 1743; Mr. Ducharme, 6324 Via Colinita. (KK)

Based on the Staff's recommendation, Commissioner Vannorsdall moved to continue this item to the next regular meeting on June 13, 1995, seconded by Vice Chair Hayes. Approved, (6-0).

*(Item 3 was moved to the end of the agenda)*

#### PUBLIC HEARINGS

4. CONDITIONAL USE PERMIT NO. 187 ET. AL.; New York Food Company (Louise Talbot), 6610 Palos Verdes Drive, South. (FF)

Commissioner Alberio moved to waive the reading of the Staff Report, seconded by Commissioner Vannorsdall. Approved, (6-0).

The public hearing was opened and closed by Chairman Mowlds, because there were no speakers wishing to give testimony on this item.

Vice Chair Hayes moved to accept the Staff's recommendation to approve the Variance and Conditional Use Permit, seconded by Commissioner Ferraro. Approved, (6-0).

Chairman Mowlds noted that there was a 15-day appeal period before the decision was final.

5. VARIANCE NO. 393, CONDITIONAL USE PERMIT NO. 188; Coco's Restaurant, 28300 Western Avenue. (FF)

Commissioner Alberio moved to waive the Staff Report, seconded by Vice Chair Hayes. Approved (6-0).

The public hearing was opened and closed because there were no speakers wishing to give testimony.

Chairman Mowlds asked the applicant's representative, Mr. Jeffrey Clark, if he understood and accepted the conditions of approval. Mr. Clarke said that he did.

Vice Chair Hayes moved to accept the Staff recommendation to approve the Conditional Use Permit, seconded by Commissioner Wang. Approved, (6-0).

Chairman Mowlds noted that there was a 15-day appeal period before the decision was final.

Commissioner Ferraro suggested to Mr. Clarke that the ladies room door should open in the opposite direction than was indicated on the submitted plans, so that the door would not hit people using the wash basin.

Mr. Clarke agreed and said that the change would be made.

6. CONDITIONAL USE PERMIT NO. 181; Mr. and Mrs. Roger Wolff, 5333 Ironwood Street. (TS)

Commissioner Alberio moved to waive reading of the Staff Report, seconded by Commissioner Vannorsdall. Approved, (6-0).

Chairman Mowlds asked Associate Planner Silverman to explain how this Conditional Use Permit application related to the language regarding second units in the proposed Development Code Revisions, which had not yet been reviewed by the City Council.

Associate Planner Silverman replied that Staff had conducted a preliminary review of how this project would relate to the requirements of the proposed Second Unit Ordinance. She indicated that the proposed second unit would not meet all the requirements, since it did not include an enclosed parking space on the property. However, she noted that the City's Senior Planner believed that this parking requirement may be too strict and that the provisions of the proposed Code were still subject to modification. Ms. Silverman concluded by stating that the present Code prohibits exterior stairs from the first level to the second story, but the submitted plan provided exterior access to the first level of the residence.

Chairman Mowlds clarified that the Planning Commission was not considering the second story addition itself, as it was approved at Staff level (and not appealed) by Height Variation No. 799. The Commission was reviewing only the second dwelling unit in accordance with the proposed new Code.

Planning Administrator Petru added that the Commission should consider the existing State law in reference to second units.

Chairman Mowlds Opened the Public Hearing.

Mrs. Diana Wolff, (landowner) 5333 Ironwood Street, Rancho Palos Verdes. Mrs. Wolff informed the Commission that she and her husband, Roger, had lived in their home for over 22 years and that they had been active in the community, supporting the local schools, the Neighborhood Watch Program, and participated in the



Application Number: SIGN PERMIT NO. 356

Related Applications: \_\_\_\_\_

Date Received: 7/6/87 Fee Received: \$175

Name (landowner): Foodmaker, Inc

Project Address: 29317 Western Avenue PO Box 6097, RPV 90732

ENVIRONMENTAL REQUIREMENTS

Date

_____	_____
_____	_____
_____	_____

STAFF ACTION

<u>8/18/87</u>	<u>Application complete (AD)</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

EC OR PC ACTION

_____	_____
_____	_____
_____	_____

COUNCIL ACTION


_____	_____
_____	_____
_____	_____
_____	_____



MEMORANDUM



RANCHO PALOS VERDES

TO: ACCOUNTING /BECKY  
FROM: PLANNING   
DATE: NOVEMBER 9, 1988  
SUBJECT: SIGN PERMIT NO. 356; 29317 Western Ave.

TRUST DEPOSIT 1471

DATE OF LAST CHARGE 9/22/88

REFUND DUE balance in account.

REASON FOR REFUND:

Account closed. No conclusion was reached on application.

SEND REFUND TO:

Major Dhillon  
29317 Western Ave.  
RPV, CA 90732

COPIES :



RANCHO PALOS VERDES

Mayor ROBERT E. RYAN

Mayor Pro Tem JACKI BACHARACH

Councilman DOUGLAS M. HINCHLIFFE

Councilman MELVIN W. HUGHES

Councilman JOHN C. McTAGGART

City Manager DENNIS McDUFFIE

September 22, 1988

Major Dhillon  
Post Office Box 6097  
San Pedro, CA 90732

Subject: Sign Permit No. 356

Dear Mr. Dhillon:

After reviewing our files, it appears that no conclusion was ever reached with regard to your sign permit. The last correspondence in your file is a letter from the City to you on November 16, 1987 to request a meeting to discuss sign alternatives.

Please advise me of your intentions in this matter before October 23, 1988.

Sincerely,

Greg Fuz  
Senior Planner

GF:ps





## RANCHO PALOS VERDES

Mayor MELVIN W. HUGHES

Mayor Pro Tem ROBERT E. RYAN

Councilwoman JACKI BACHARACH

Councilman DOUGLAS M. HINCHLIFFE

Councilman JOHN C. McTAGGART

City Manager DENNIS McDUFFIE

November 16, 1987

Mr. Major Dhillon  
P.O. Box 6097  
San Pedro, CA 90732

SUBJECT: Sign Permit No. 356

Dear Mr. Dhillon:

At the meeting of November 10, 1987, the Planning Commission directed staff to meet with you to discuss alternatives. I would like to meet with you at your earliest convenience in order to achieve the Commission's direction; to review alternative signs for your Western Avenue property.

Please call me at our new number, 377-6008, to schedule a meeting.

Sincerely,

Paul Merrett  
Assistant Planner

PM:jp



~~Commissioner Wike moved approval of Variance No. 178 with the Conditions of Approval as included in Alternative No. 3 with the understanding that the City will attempt to approve the application with the existing geology; however, if it is inadequate, additional reports must be provided. The motion was seconded by Commissioner Connolly and passed unanimously.~~

~~Appeal rights were noted.~~

#### CONTINUED BUSINESS

**Sign Permit No. 356**  
Dhillon, Foodmaker, Inc.  
29317 Western

Assistant Planner Paul Merrett presented the staff report.

Chairperson Ortolano invited interested parties to speak to the item.

Mr. Major Dhillon, 29317 So. Western, applicant, discussed: the financial hardships related to an approval of the staff recommendation; his desire that the existing signage remain with the understanding that it would be brought into compliance at the end of the amortization period; and the importance of the window banners.

Commissioner Von Hagen noted problems related to drive-thru speaker boxes near residential areas. He mentioned the clutter of signage at the location and pointed out that a reduction thereof would offer the applicant more flexibility for the banner signs which are necessary to advertise the specials. He related his support of Attachment "A" as included in the staff report.

Chairperson Ortolano stressed that the applicant's logo will draw attention to the site. She emphasized her support of the sign amortization program along Western from which she is reluctant to deviate. She stressed that the applicant should be granted no more signage than will be allowed at the end of the amortization period. She related her support to continue the item in order to allow further analysis of the request.

Commissioner Connolly related his opinion that the maximum amount of signage allowed by the Code would be appropriate.

Commissioner Wike expressed her concern over the proposed banner signs and indicated that no more than one of same should be allowed.

P.C.

Minutes

November 10, 1987

Page 8

Staff pointed out that the nearest residential area would not be affected by the one drive-thru speaker box at the location. Staff discussed the specifics of the request and provided input regarding the Code considerations related to the window banner signs.

Director of Environmental Services Benard explained that an approval of the staff recommendation would require a reduction in the pole sign to no higher than 6 feet.

Commissioner Wike moved to continue the item in order to allow the applicant to further discuss the item with staff; seconded by Commissioner Von Hagen and passed unanimously.

#### NEW BUSINESS

GR No. 1050  
Modern International  
Technical, Noriaki Ito  
6461 Chartres Drive

The reading of the staff report was waived.

There were no requests to speak to the item.

Commissioners Connolly and Wike and Chairperson Ortolano stressed that the size of the proposed project should be scaled down to reduce the excessive amount of proposed grading on the extreme slope.

Commissioner Von Hagen related his support of the staff recommendation. He expressed his opinion that the proposed grading would not be a paramount problem and that other criteria, such as the placement of the home on the lot, are equally as important.

Staff commented on the recommended driveway modifications and indicated that alternatives to the proposed driveway should be explored in order to reduce the steepness thereof. Staff discussed that the proposed location of the home would be more aesthetically pleasing than various alternative locations which would necessitate cutting into the slope.

Director of Environmental Services Benard explained that the relocation of the proposed project closer to the street would necessitate cutting into the slope which would be inconsistent with the Development Code.

Commissioner Von Hagen moved to continue the item; seconded by Commissioner Connolly and passed unanimously.

\*\*\*At 9:40 PM there was a brief recess until 9:50 PM when the meeting was reconvened in regular agenda order.\*\*\*



# STAFF REPORT

## RANCHO PALOS VERDES

**TO:** PLANNING COMMISSION  
**FROM:** DIRECTOR OF ENVIRONMENTAL SERVICES  
**DATE:** NOVEMBER 10, 1987  
**SUBJECT:** SIGN PERMIT NO. 356

**APPLICANT:** MAJOR DHILLON  
 DBA JACK-IN-THE-BOX  
 P.O. BOX 6097  
 SAN PEDRO, CA 90732  
 (213) 548-9938

**LANDOWNER:** FOODMAKER, INC.  
 JEFFREY A. TURNER, F.O.C.  
 9040 TELESTAR AVE., SUITE 121  
 EL MONTE, CA 91731  
 (818) 571-7667

**STAFF COORDINATOR:** PAUL MERRETT  
 ASSISTANT PLANNER

### REQUESTED ACTION:

APPROVE THE MOUNTING OF ONE FREE STANDING POLE SIGN, 3 WALL MOUNTED ILLUMINATED SIGNS, 1 PARKING MENU PANEL, 1 SPEAKER BOX MENU PANEL, 1 ILLUMINATED STORE "OPEN" SIGN, 1 TEMPORARY (30 DAY) BANNER, 1 PERMANENT WINDOW BANNER, 1 PERMANENT WALL BANNER

### REFERENCES

**ZONING:** CG

**LAND USE:** TAKE OUT RESTAURANT

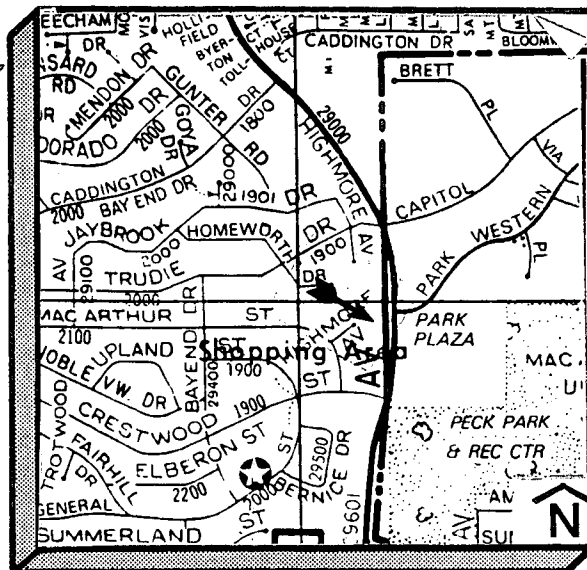
**CODE SECTIONS:** 17.52.020, 17.52.060(E), 17.52.065, 17.52.030

**GENERAL PLAN:** COMMERCIAL

**TRAILS PLAN:** BICYCLE PATH (CLASS II)

**SPECIFIC PLAN:** DRAFT SPECIFIC PLAN IV (Effective date December 5, 1987)

**CEQA STATUS:** CATEGORICALLY EXEMPT (CLASS 1)



### VICINITY MAP

**LOCATION:** 29317 S. WESTERN AVE.

### BACKGROUND

On December 12, 1986 the applicant was notified that the freestanding pole sign and the illuminated roof mounted signs presently existing were subject to a five year amortization period which would end on December 12, 1991. Within that five year period, the property owner may request that the Planning Commission allow the nonconforming signs to remain. This sign application is such a request.

Additionally, after expiration of a temporary sign permit approved in April of 1985, several banner signs continued to be displayed. In the December 12, 1986 letter, ten (10) days was allowed for the removal of the signs. No renewals were requested for these signs.

### DESCRIPTIONS

#### Site Description

The project site is a 22,464 square foot parcel which is developed with a 1899 square foot fast food restaurant, and the lot is level, located in a CG zone adjacent to a RS-4 zone.

#### Project Description

Foodmaker, Inc. (Jack-In-The-Box) is applying for a permit to legalize 6 existing permanent signs, and also to allow the posting of a combination of 4 proposed temporary and permanent banner type signs. The breakdown of these signs is as follows:

#### Existing (Permanent)

<u>Qty.</u>	<u>Description</u>	<u>Dimension</u>	<u>Control</u>
1	Freestanding pole sign (Illuminated)	4'6" x 4'6" x 24'	5 yr. amort.
3	Roof-mounted sign (Illuminated)	9'0 x 12'0	5 yr. amort.
1	Parking lot menu panel for drive through customers (Illuminated)	12' x 3' x 6'6"	N/A
1	Speaker box menu panel (Illuminated)	2'6" x 4'6" x 6'6"	N/A
1	Restaurant "open" (permanent-illuminated)	0'11" x 2'3"	N/A

Proposed (Permanent and Temporary)

<u>Qty.</u>	<u>Description</u>	<u>Dimension</u>	<u>Control</u>
1	Window banner (30 day temporary)	3' x 4'	N/A
1	Window banner (permanent changing text)	3' x 4'	N/A
1	Outside wall banner (permanent-changing)	2' 0" x 12'0"	N/A

CODE CONSIDERATIONS

The Development Code establishes criteria for review of sign applications and states that sign applications which do not meet the limitations of Chapter 17.52 may be submitted to the Planning Commission.

Generally, the Code provides that signs should primarily identify the general nature of an establishment or direct attention to primary product, activity, place, person, organization, or enterprise. Signs must harmonize with the building, the neighborhood, and other signs in the area. Also, signs shall not have any adverse effect on the value and character of the adjacent residential district.

Specifically, a freestanding sign, not to exceed six feet in overall height, may be permitted with the approval of the Director if it is the major identification sign. Any higher freestanding sign may be approved by the Commission only in exceptional circumstances if, due to site problems, it is the only feasible method of identification. Such a sign shall not exceed sixteen feet in overall height. The maximum area size of such a sign is 50 square feet.

Existing Signs

The freestanding pole sign measures 4'6" x 4'6" and stands 24 feet above grade. As stated previously, it is subject to a five year amortization period which expires on December 12, 1991.

The three roof mounted wall signs are subject to the same amortization period. They measure 12' x 9' and are mounted on the north, south, and east facades of the mansard roof.

The parking lot and speaker box menu panels are not subject to the amortization period. Both are illuminated but are situated so there is little impact on adjacent residences. The Development Code does not specifically address this type of sign.

The restaurant "open" sign is an illuminated sign which, due to its size, color, and placement would have no visual impacts on

adjacent residential properties.

### Additional Signs

One banner sign is proposed as a temporary (30 day) sign advertising special and new products. Another banner sign is proposed as a permanent fixture but the products it advertises would change periodically. Both of these banners are proposed as window signs directed toward walk-in customers. Another permanent banner sign is proposed to be placed hanging from the mansard roof eaves on the outside of the building. This would also advertise changing new products.

### ANALYSIS

The existing and proposed signs are not in conformance with Code requirements, however the negative effects of too many signs could be reduced with one of the following two conditions:

- A. Allow the existing freestanding pole sign to remain for the balance of the amortization period, after which it will be replaced with conforming signs, but reduce the number and size of all banner signs to one 6 square foot banner; or
- B. Replace the existing freestanding pole sign with a maximum 6 foot high by 5 foot monument sign and allow the number of banner signs as proposed. Each banner would be limited to 3 square feet in overall area. (Staff recommendation)

The banner signs are directed primarily toward pedestrian traffic, therefore the above suggested size should be appropriate for that use. In addition, all banner signs should be displayed internally as window signs comprising no more than 10% of the window area.

If one of the first two conditions are adopted along with the other 3 conditions (listed below), signage would conform with the spirit of the Development Code.

The roof mounted wall signs should be subject to the following conditions:

- C. Maximum size 33 square feet.
- D. Maximum number, one.
- E. Illumination subject to inspection within 30 days of installation, and limited to hours of illumination of (1) one hour beyond hours of operation or midnight, whichever is later.

ADDITIONAL INFORMATION

If this application is denied, the existing pole sign and the illuminated roof mounted signs may remain for the balance of the amortization period. Since the other existing signs are not subject to the amortization period they would remain indefinitely.

Temporary sign permits may still be issued for 30 day periods and renewable for up to 120 days per calendar year.

CONCLUSION

The sign program for the Jack-In-The-Box restaurant, as proposed, would have negative visual impact on the surrounding environment in terms of competition for visual attention and increased light and glare. Signs approved with recommended conditions would still provide adequate identification for the use.

ALTERNATIVES

1. Approve the application as submitted.
2. Deny the application.
3. Approve the application subject to the conditions of approval in Attachment "A".

RECOMMENDATION

Alternative No. 3

ATTACHMENTS

Attachment "A"  
Application

RB:PM:ps



ATTACHMENT "A"

1. Replace the existing freestanding pole sign with a maximum 6 foot high by 5 foot wide monument sign and allow the banner signs as proposed. Each banner would be limited to 3 square feet in overall area.
2. Limit the roof mounted identification signs to:
  - a. Maximum size 33 square feet.
  - b. Maximum number, one.
3. Allow the "open" sign, parking lot menu panel, and speaker box menu panel to remain.
4. All permanent signs should be subject to the following conditions:
  - a. Internal illumination.
  - b. Inspection to verify no off-site light spillage to be requested within 30 days of installation.
  - c. Hours of illumination limited to one (1) hour beyond hours of operation or midnight, whichever is later.

11/10/87

7557-031-012

SIGN PERMIT APPLICATION NO. 356

RECEIPT NO. \_\_\_\_\_  
AMOUNT REC'D \_\_\_\_\_

MAJOR, S. D. LITTON

LANDOWNER: FARMER INC.

APPLICANT: DGA JACK IN THE BOX  
PO BOX 6097, San Pedro 90734-6097  
29317 S. WESTERN AVE

NAME: JEFFREY A. TURNER, F.O.C.

ADDRESS: 9040 TELESTAR AVE SUITE 121  
EL MONTE, CA 91731

RANCHO PALM VERDE

PHONE: (HOME): 362-6930 (OFFICE): 571-7667  
818 818

(HOME): 402-3959 (OFFICE): 831-3509  
(212) (313)

ADDRESS OF SUBJECT PROPERTY: 29317 SOUTH WESTERN AVE R.P.U. CA 90732

CURRENT ZONING: CG

LENGTH OF STOREFRONT(S): 33 FEET 51 FEET

RECEIVED  
OCT 20 1987

ENVIRONMENTAL SERVICES

1. NUMBER AND DIMENSIONS AND NATURE OF PROPOSED SIGNS:

QUANTITY	DIMENSIONS WIDTH X LENGTH X TOTAL HEIGHT	PERMANENT OR TEMPORARY	IF TEMPORARY, GIVE DURATION
<u>1</u>	<u>3'-6" x 4'-0"</u> (WINDOW BANNER)	<u>TEMPORARY</u>	<u>30 DAYS</u>
<u>1</u>	<u>3'-0" x 4'-0"</u> (WINDOW BANNER)	<u>PERMANENT</u>	<u>(SPECIAL &amp; NEW PRODUCTS)</u>
<u>1</u>	<u>6'-11" x 2'-3"</u> (ILLUMINATED SIGN)	<u>PERMANENT</u>	<u>(RESTAURANT OPEN SIGN)</u>
<u>1</u>	<u>2'-0" x 12'-0"</u> (OUTSIDE FRONT WALL BANNER)	<u>PERMANENT</u>	<u>(SPECIAL &amp; NEW PRODUCTS)</u>

2. NUMBER AND DIMENSIONS OF ALL EXISTING SIGNS:

QUANTITY	DIMENSIONS	
<u>1</u>	<u>4'-6" x 4'-6" x 24'-0"</u>	<u>FREE STANDING POLE SIGN</u>
<u>3</u>	<u>9'-0" x 12'-0"</u>	<u>WALL MOUNTED ROOF SIGNS</u>
<u>1</u>	<u>12'-0" x 3'-0" x 9'-0"</u>	<u>PARKING MENU PANEL - DRIVE THRU</u>
<u>1</u>	<u>2'-6" x 4'-6" x 6'-6"</u>	<u>SPEAKER BOX MENU PANEL</u>

3. BRIEFLY DESCRIBE THE PURPOSE AND NEED FOR EACH PROPOSED SIGN:

FREE STANDING POLE SIGN IDENTIFIES JACK IN THE BOX LOCATION  
WALL MOUNTED SIGN ILLUMINATED SHOWS JACK IN THE BOX BLDG. TO  
PUBLIC DRIVING ON WESTERN AVE, PARKING MENU PANEL DISPLAY  
MENU TO DRIVE THRU CUSTOMERS, SPEAKER BOX MENU PANEL (LISTS  
ITEMS & THEIR PRICE FOR DRIVE THRU CUSTOMER ORDERS.

4. INDICATE SIGN COPY (ATTACHED) WINDOW BANNERS ARE FOR WALK IN CUSTOMERS FOR SPECIAL & NEW PRODUCTS FRONT WALL BANNER FOR PUBLIC DRIVING ON WESTERN AVE

I CERTIFY THAT THE INFORMATION AND MATERIALS CONTAINED IN THIS APPLICATION ARE ACCURATE AND COMPLETE.

SIGNATURE OF LANDOWNER: [Signature]  
DATE: 10/1/87

SIGNATURE OF APPLICANT: [Signature]  
DATE: 7/6/87

512-8137 (booper)

## **SIGN PERMIT**

### **REQUIRED MATERIALS:**

- TWO (2) COPIES OF SITE PLAN SHOWING LOCATION OF ALL EXISTING AND PROPOSED SIGNS RELATIVE TO ADJACENT BUILDINGS OR STRUCTURES. SIGNS MUST BE LABELED EXISTING OR PROPOSED, OR OTHERWISE BE CLEARLY DISTINGUISHABLE.
- TWO (2) COPIES OF SIGN PLAN IDENTIFYING COLORS, DESIGN, AND DIMENSION OF ALL SIGNS PROPOSED.
- ONE (1) SIGN PERMIT APPLICATION.
- FILING FEE:

FOR PERMANENT SIGNS, A FEE OF \$ 95.00 FOR THE FIRST SIGN, PLUS \$5.00 FOR EACH ADDITIONAL SIGN INCLUDED ON THE SAME APPLICATION.  
OR

FOR TEMPORARY SIGNS, A FEE OF \$ 45.00 FOR THE FIRST SIGN, PLUS \$3.00 FOR EACH ADDITIONAL SIGN INCLUDED ON THE SAME APPLICATION.

THE SIGN ORDINANCE WAS ESTABLISHED TO PREVENT THE UNNECESSARY PROLIFERATION OF SIGNS THROUGHOUT THE CITY, THEREBY PROTECTING THE PROPERTY VALUES, SAFETY, AND QUALITY OF LIFE IN THE AREA.

(PLEASE REFER TO CHAPTER 17.32 OF THE CITY DEVELOPMENT CODE)

PLAN 1/4" = 1'-0"  
29317 S. WESTER AVE.  
SAN PEDRO, CA 90732

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JUL - 6 1987

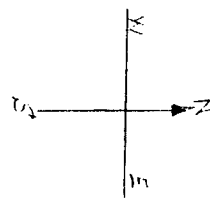
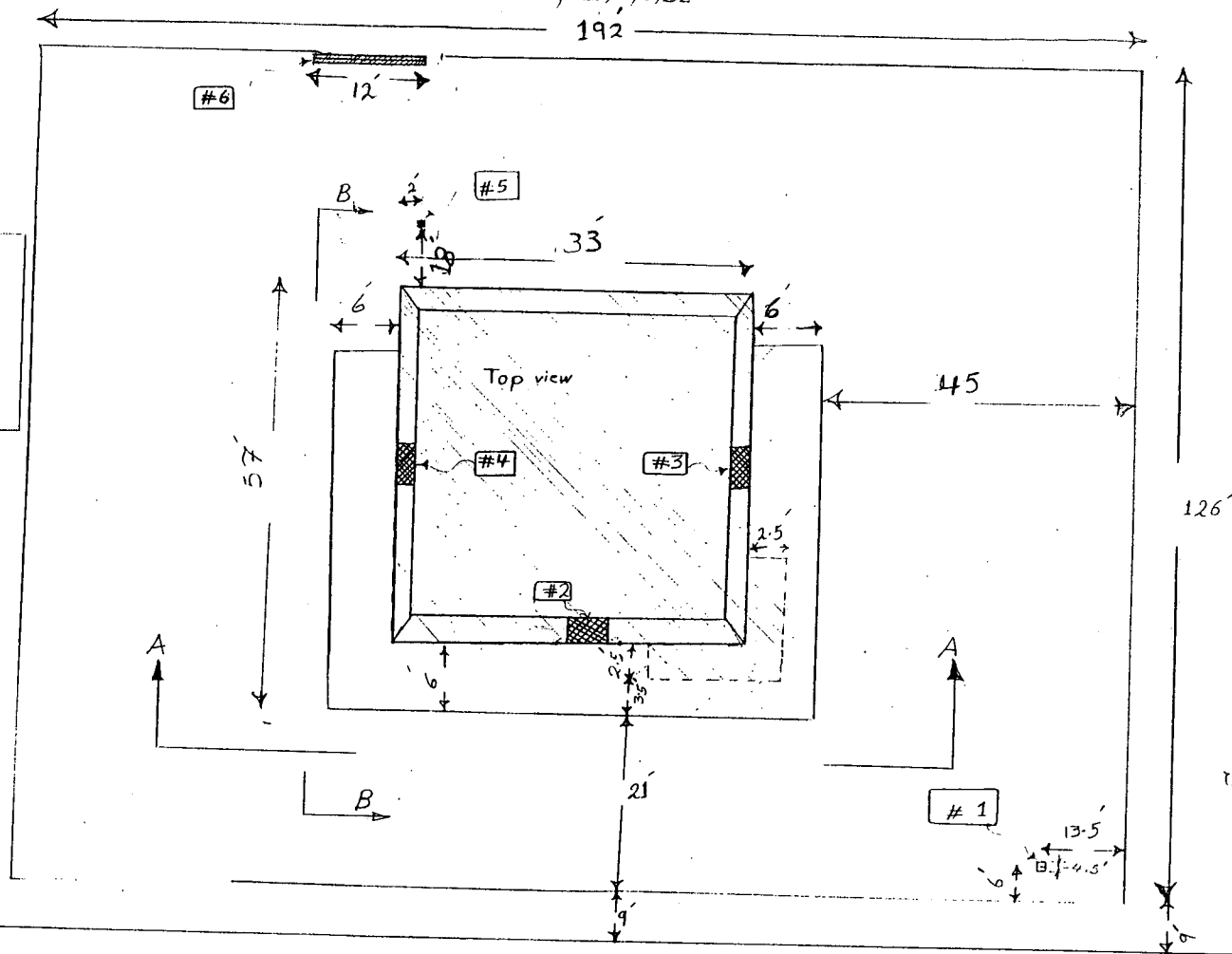
ENVIRONMENTAL SERVICES

INTERNATIONAL  
HOUSE OF PANCAKE

SECURITY PACIFIC  
BANK

SUNSET BLVD AVE

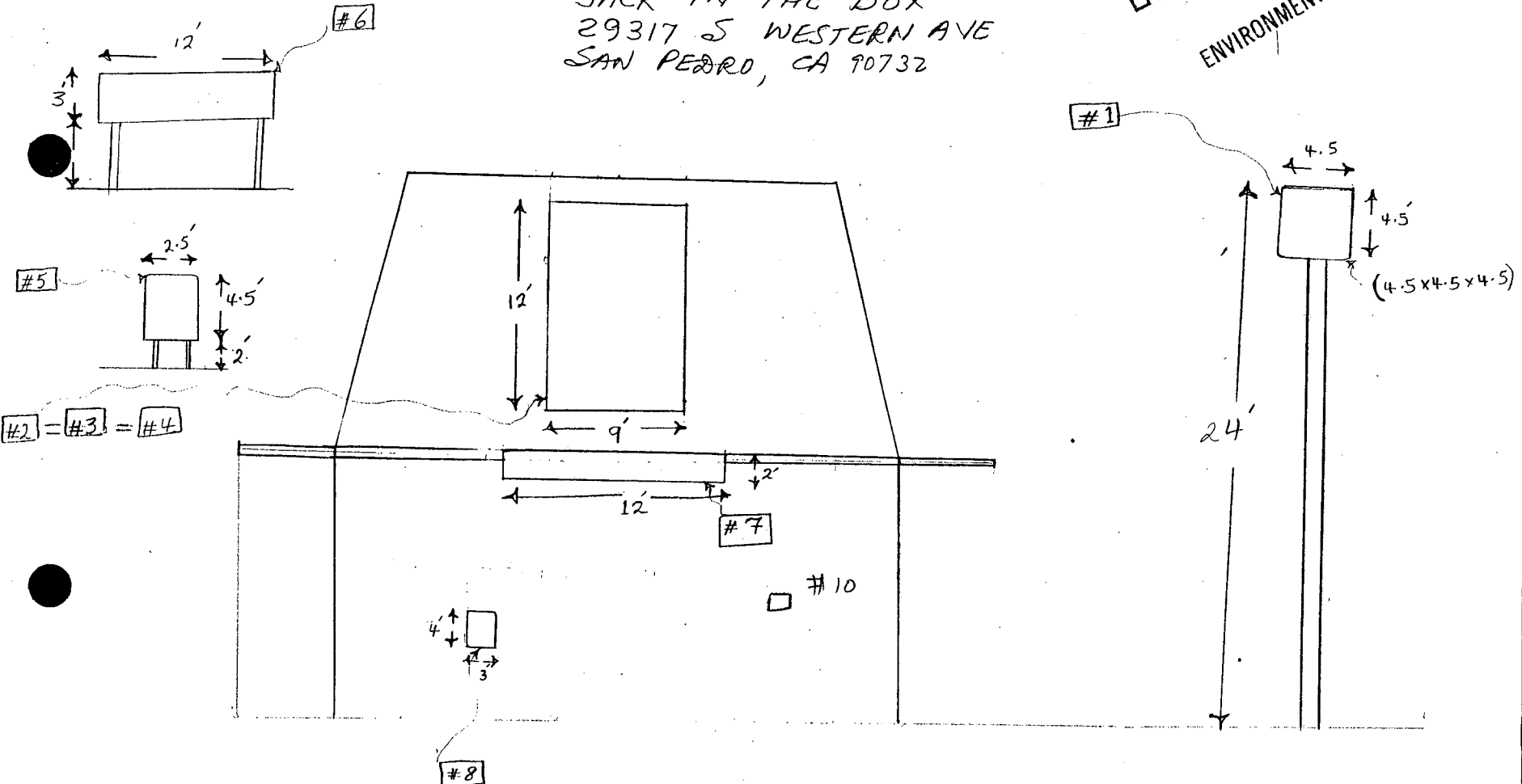
WESTERN AVE



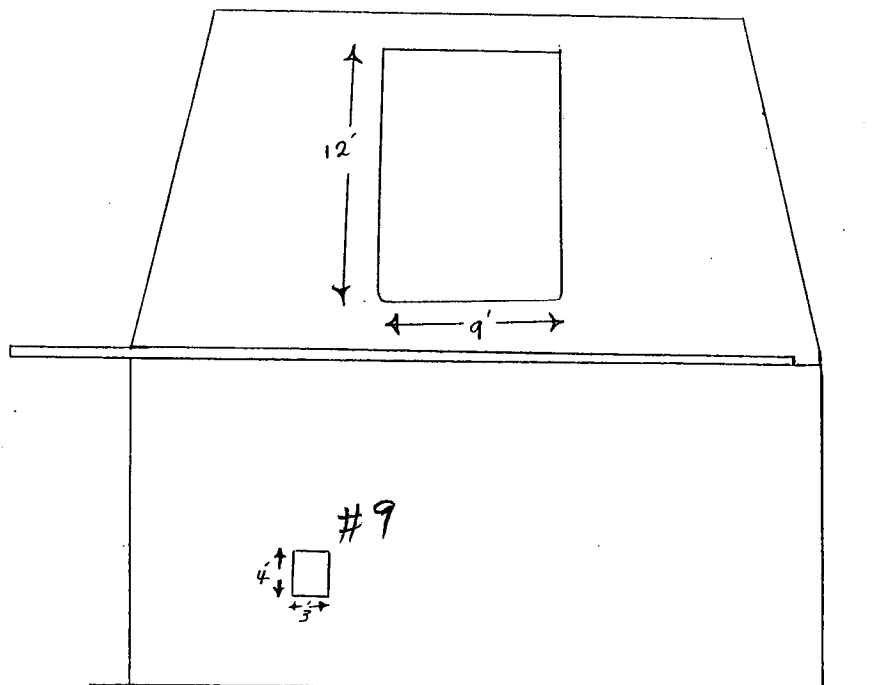


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ENVIRONMENTAL SERVICES

JACK IN THE BOX  
29317 S WESTERN AVE  
SAN PEDRO, CA 90732



FRONT ELEVATIONS  
(SECTION A-A)



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ENVIRONMENTAL SERVICES

NORTH AND SOUTH ELEVATION  
(SECTION B-B)

JACK IN THE BOX  
29317 S. WESTERN AVE

1, FREE STANDING POLE SIGN - 1

2, WALL MOUNTED SIGN


3, WALL MOUNTED SIGN

4 WALL MOUNTED SIGN

5- DRIVE THRU SPEAKER BOX

6- PARKING PANEL

7- TEMPORARY OUTSIDE BANNER

8- WINDOW BANNERS - PERM. 

9 - WINDOW BANNERS - TEMPORARY

10 - ILLUMINATED SIGN

PER WEEK	WEEK OF	MEDIA WEIGHT	BROADCAST EVENT	COUPON PROMOTION	BANNER EVENT	ALTERNATE BROADCAST EVENT	PER WEEK	WEEK OF	COMMENTS
1	1	9/29	-		2 Tacos 99¢		1	1	9/29
1	2	10/06	I				1	2	10/06
1	3	10/13	I		2 Cheeseburgers for 99¢		1	3	10/13
1	4	10/20	I				1	4	10/20
2	5	10/27	S	Hot Club			2	5	10/27
2	6	11/03	S	Supreme			2	6	11/03
2	7	11/10	S		I 99¢		2	7	11/10
2	8	11/17	S	Introduction	I Jumbo Jack (Radio Test)	99¢ Jumbo Jack	2	8	11/17
3	9	* 11/24	-		2 Tacos 99¢		3	9	*11/24
3	10	12/01	S				3	10	12/01
3	11	12/08	S				3	11	12/08
3	12	12/15	S				3	12	12/15
4	13	* 12/22	-		2 Cheeseburgers for 99¢	2 Cheeseburgers for 99¢	4	13	*12/22
4	14	* 12/29	I	Brand Event			4	14	*12/29
4	15	1/05	I		Fajita Pita		4	15	1/05
4	16	1/12	S				4	16	1/12
5	17	1/19	I		2 Tacos 99¢	2 Tacos 99¢	5	17	1/19
5	18	1/26	I	Fajita			5	18	1/26
5	19	2/02	I	Pita			5	19	2/02
5	20	2/09	-	Introduction	Breakfast/Brand	99¢ Jumbo Jack	5	20	2/09
6	21	2/16	I		Fajita Pita (99¢ JJ Alt)		6	21	2/16
6	22	2/23	S				6	22	2/23
6	23	3/02	S		Fajita Pita		6	23	3/02
6	24	3/09	-		Fish Supreme		6	24	3/09
7	25	3/16	I	↓	↓	↓	7	25	3/16
7	26	3/23	S				7	26	3/23
7	27	3/30	S				7	27	3/30
7	28	4/06	-				7	28	4/06
8	29	4/13	I				8	29	4/13
8	30	4/20	I				8	30	4/20
8	31	4/27	S				8	31	4/27
8	32	5/04	-				8	32	5/04
9	33	5/11	I				9	33	5/11
9	34	5/18	S				9	34	5/18
9	35	* 5/25	S				9	35	*5/25
9	36	6/01	-				9	36	6/01
10	37	6/08	I				10	37	6/08
10	38	6/15	I				10	38	6/15
10	39	6/22	I				10	39	6/22
10	40	* 6/29	-				10	40	*6/29
11	41	7/06	I				11	41	7/06
11	42	7/13	S				11	42	7/13
11	43	7/20	S				11	43	7/20
11	44	7/27	-				11	44	7/27
12	45	8/03	I				12	45	8/03
12	46	8/10	S				12	46	8/10
12	47	8/17	-				12	47	8/17
12	48	8/24	I				12	48	8/24
13	49	* 8/31	S				13	49	*8/31
13	50	9/07	I				13	50	9/07
13	51	9/14	S				13	51	9/14
13	52	9/21	-				13	52	9/21

Test (11/3 - 11/23 radio).

A) Available at Regional Mgr's discretion for select restaurants.

159 Company  
55 Franchise  
214 Total

20 I T.V./Radio  
20 S T.V.

I=Introductory  
S=Sustaining

\* HHI TODAY WEEK





## RANCHO PALOS VERDES

Mayor MELVIN W. HUGHES

Mayor Pro Tem ROBERT E. RYAN

Councilwoman JACKI BACHARACH

Councilman DOUGLAS M. HINCHLIFFE

Councilman JOHN C. McTAGGART

City Manager DENNIS McDUFFIE

October 15, 1987

Mr. Major Dhillon  
29317 Western Avenue  
Rancho Palos Verdes, CA 90274

Subject: Sign Permit Application 256

Dear Mr. Dhillon:

Sign Permit application 256 has been rescheduled to the November 10, 1987 Planning Commission agenda. This is necessary because the application has not been signed or authorized by the property owner, Foodmaker, Inc. Please make every effort to have an authorized representative of Foodmaker sign the application by October 30, 1987 so that further delays can be avoided.

If you have any questions please call me.

Sincerely,

Paul Merrett  
Assistant Planner

PM:jp

P.C.

Minutes  
October 13, 1987  
Page 6

**Sign Permit No. 356;  
Foodmaker, Inc. and  
Major Dhillon  
29317 Western**

Commissioner McNulty moved to  
continue the request to the  
next available meeting;  
seconded by Commissioner  
Wike and passed unanimously.

**Coastal Permit No. 31/  
GR No. 1044;  
JCC Enterprises  
6600 Seacove  
and**

**Coastal Permit No. 33/  
GR No. 1046;  
JCC Enterprises  
6600 Seacove**

Coastal Permit No. 31/GR No.  
1044 and Coastal Permit No.  
33/GR No. 1046 were considered  
simultaneously.

Director of Environmental  
Services Benard introduced  
Associate Planner Ben Ortega  
who presented the staff report.

Chairperson Ortolano invited interested parties to speak to the item.

Mr. Bruce Gelb, 21515 Hawthorne, Suite 1140, Union Bank Tower,  
Torrance, 90503, representing the applicant, related the applicant's  
general concurrence with the staff recommendations. However, he  
related the applicant's concern over any future access to the property  
in the vicinity of Lot No. 11. He requested clarification regarding  
the fence location (as included in Condition No. 4a to both requests).  
He clarified that the applicant does not own Lot No. 11 nor does he  
intend to develop it.

Those opposing the requests were:

Mr. Ray Barrett  
Mr. Harley

32859 Seagate Drive  
32706 Via Palacio

Those opposing the requests discussed: concern over view impairment;  
view corridors; concern over potential tree view blockage; Mr.  
Barrett's opposition to an easement for access in the vicinity of  
Lot No. 11; Mr. Harley's support of an easement for access in the  
vicinity of Lot No. 11; the proposed setbacks in relation to the  
catch basins; and concern over the height of the proposed chimneys.

Staff explained the specifics of the Coastal Setback Zone. Staff  
pointed out that the Conditions of Approval for both projects address  
the chimney heights. Staff noted that access in the vicinity of Lot  
No. 11 will be considered at the time of the application for develop-  
ment of that property. Staff clarified that the proposed fence would  
be permitted on the applicant's property and not on the easement.

MEMORANDUM



RANCHO PALOS VERDES

TO: PLANNING COMMISSION  
FROM: DIRECTOR OF ENVIRONMENTAL SERVICES  
DATE: OCTOBER 13, 1987  
SUBJECT: SIGN PERMIT NO. 356; FOODMAKER, INC., 29317 WESTERN AVENUE

Staff Coordinator: Paul Merrett, Assistant Planner

Staff recommends that this item be continued to the October 27, 1987 Planning Commission meeting. This is to allow time to obtain the landowner's written authorization for the submittal of this application.

RB:PM:ps

COPIES :

CITY OF RANCHO PALOS VERDES  
ENVIRONMENTAL SERVICES DEPARTMENT

STATUS OF APPLICATION

APPLICATION NO. Sign Permit No. 356 DATE August 4, 1987  
APPLICANT Jack-In-The-Box REPRESENTATIVE Major S. Dhillon  
29317 S. Western  
Rancho Palos Verdes, CA 90732  
LOCATION OF PROJECT 29317 S. Western  
PROJECT DESCRIPTION Signage

Pursuant to State Law the City's staff has completed a preliminary review of the application noted above and finds that the information submitted is:

☐ Generally complete to begin processing the application. (The date indicated below is the date on which the application is deemed to be complete.)

Please note that the City may properly require further information in order to clarify, amplify, correct, or otherwise supplement existing or future data. If the City requires such additional information, it is strongly suggested that you supply same in a timely manner in order to avoid any delay in the processing of the application.

☒ Not complete and has been held in abeyance due to certain missing information and/or a failure to comply with certain requirements. The missing information and/or requirements are listed below, and must be supplied and/or complied with before your application can be deemed complete. For further information please call

Paul Merrett

Additional Information/Requirements:

Please submit \$100.00 miscellaneous hearing deposit fee by August 14 to reserve agenda/hearing date of September 22. 8/18

Properly scaled plans.

Exterior photos of building showing approximated location of signs.

Example photos of banner signs, if available.

Paul Merrett  
Staff Signature

August 4, 1987

Date





RANCHO PALOS VERDES

FEE RECEIPT FORM

30940 HAWTHORNE BOULEVARD  
RANCHO PALOS VERDES, CA 90274  
(213) 377-0360

RECEIVED OF  
PAYER:

MAJOR DHILLON

TELEPHONE

213 548 9938

ADDRESS:

29317 WESTERN

CITY

RPV

ZIP

90732

JOB OWNER:

SAMC

JOB ADDRESS

OR TRACT NO.:

OWNER'S ADDRESS:

SAME

VALIDATION  
(OFFICE  
USE ONLY)

08/18/87 RPV

1\*#  
D802053

\$AMT\$ 100.00

1471##

CHEK 100.00

1721A000 13:42

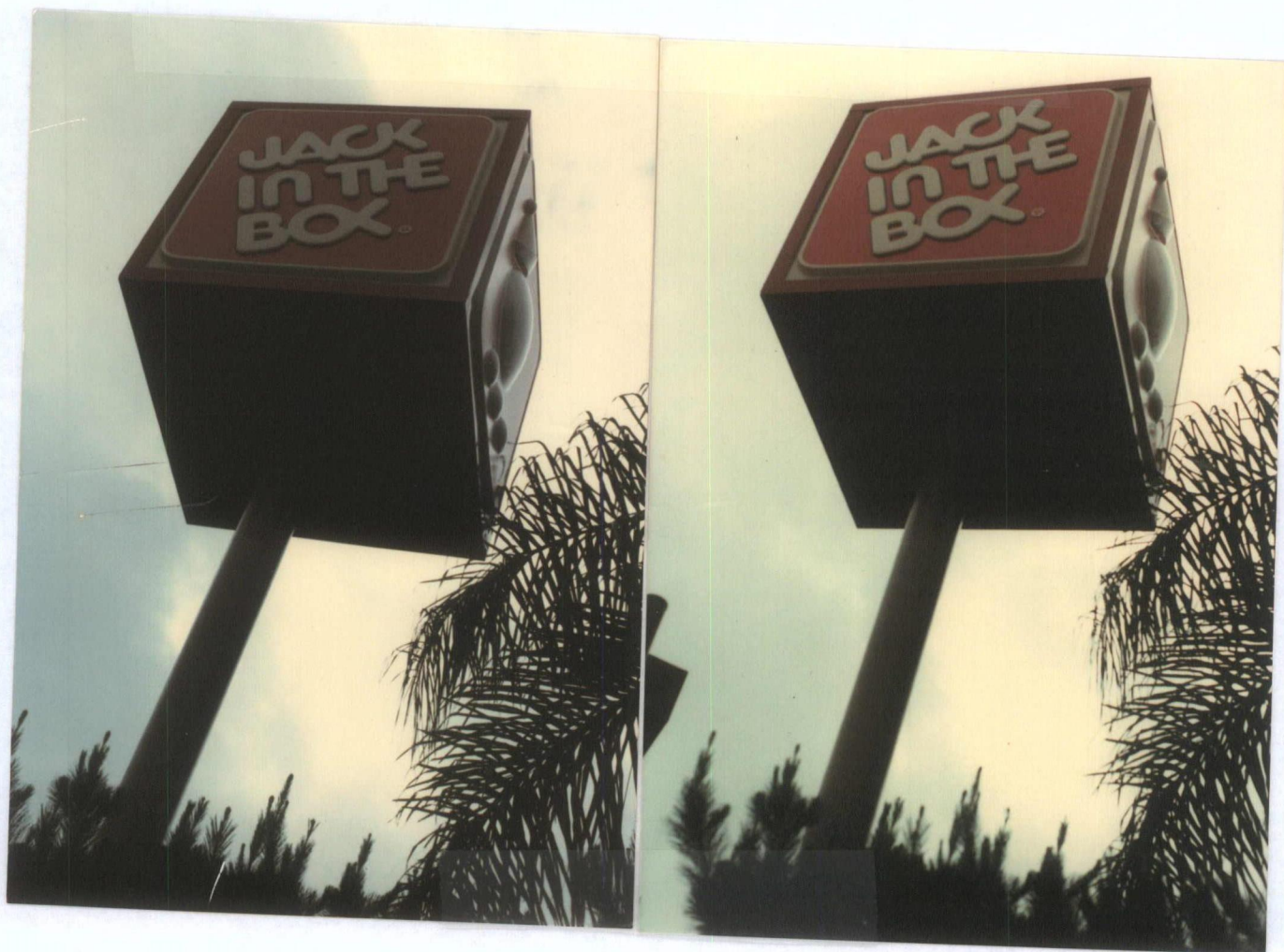
RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND	RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND
PLANNING APPLICATION <u>SP # 356</u>	<u>100.00</u>	<u>80-2053</u> <u>1471</u>	<input type="checkbox"/> PLAN CHECK FEE _____ (Type)		
DOCUMENT/PRINTING			<input type="checkbox"/> OTHER _____		
PARKLAND FEE Project # _____			<input type="checkbox"/> OTHER _____		
DUMPING DEPOSIT			ENVIRONMENTAL EXCISE TAX		
BUSINESS LICENSE			Check No. <u>1610</u>	TOTAL <u>100.00</u>	
PENALTY					
BOND DEPOSIT					
Calculated by _____	Received by <u>[Signature]</u>				

*Paid by  
Check 1610*









7557-031-012

SIGN PERMIT APPLICATION NO. 350

RECEIPT NO. \_\_\_\_\_

AMOUNT REC'D \_\_\_\_\_

MAJOR S. DILLON

LANDOWNER: FOODMALLER INC.APPLICANT: JOBA JACK IN THE BOX  
PO BOX 6097, San Pedro 90734-6097  
29317 S. WESTERN AVE

NAME:

JEFFREY A. TURNER, F.O.C.

ADDRESS:

9040 TELESTAR AVE SUITE 121  
EL MONTE, CA 91731RANCHO PALOS VERDES

PHONE:

(HOME): 362-6930 (OFFICE): 571-7667  
818 818(HOME): 402-3859 (OFFICE): 571-7739  
831-3509ADDRESS OF SUBJECT PROPERTY: 29317 SOUTH WESTERN AVE, R.P.U. CA 90732CURRENT ZONING: CGLENGTH OF STOREFRONT(S): 33 FEET 51 FEET

## 1. NUMBER AND DIMENSIONS AND NATURE OF PROPOSED SIGNS:

QUANTITY	DIMENSIONS WIDTH X LENGTH X TOTAL HEIGHT	PERMANENT OR TEMPORARY	IF TEMPORARY, GIVE DURATION
<u>1</u>	<u>3'-0" x 4'-0"</u> (WINDOW BANNER)	<u>TEMPORARY</u>	<u>30 DAYS</u>
<u>1</u>	<u>3'-0" x 4'-0"</u> (WINDOW BANNER)	<u>PERMANENT</u>	<u>(SPECIALS &amp; NEW PRODUCTS)</u>
<u>1</u>	<u>0'-11" x 2'-3"</u> (ILLUMINATED SIGN)	<u>PERMANENT</u>	<u>(RESTAURANT OPEN SIGN)</u>
<u>1</u>	<u>2'-0" x 12'-0"</u> (OUTSIDE FRONT WALL BANNER)	<u>PERMANENT</u>	<u>(SPECIAL &amp; NEW PRODUCTS)</u>

## 2. NUMBER AND DIMENSIONS OF ALL EXISTING SIGNS:

QUANTITY	DIMENSIONS	
<u>1</u>	<u>4'-6" x 4'-6" x 24'-0"</u>	<u>FREE STANDING POLE SIGN</u>
<u>3</u>	<u>9'-0" x 12'-0"</u>	<u>WALL MOUNTED ROOF SIGNS</u>
<u>1</u>	<u>12'-0" x 3'-0" x 9'-0"</u>	<u>PARKING MENU PANEL - DRIVE THRU</u>
<u>1</u>	<u>2'-6" x 4'-6" x 6'-6"</u>	<u>SPEAKER BOX MENU PANEL</u>

## 3. BRIEFLY DESCRIBE THE PURPOSE AND NEED FOR EACH PROPOSED SIGN:

FREE STANDING POLE SIGN IDENTIFIES JACK IN THE BOX LOCATION  
WALL MOUNTED SIGN ILLUMINATED SHOWS JACK IN THE BOX BLDG. TO  
PUBLIC DRIVING ON WESTERN AVE, PARKING MENU PANEL DISPLAYS  
MENU TO DRIVE THRU CUSTOMERS, SPEAKER BOX MENU PANEL LISTS  
ITEMS & THEIR PRICE FOR DRIVE THRU CUSTOMER ORDERS.

## 4. INDICATE SIGN COPY (ATTACHED)

WINDOW BANNERS ARE FOR WALK IN CUSTOMERS FOR  
SPECIAL & NEW PRODUCTS) FRONT WALL BANNER FOR  
PUBLIC DRIVING ON WESTERN AVE.

I CERTIFY THAT THE INFORMATION AND MATERIALS CONTAINED IN THIS APPLICATION ARE  
 ACCURATE AND COMPLETE.

SIGNATURE OF LANDOWNER:

SIGNATURE OF APPLICANT:

DATE:

DATE: 7/8/87

512-8137 (beeper)

RECEIVED  
JUL - 6 1987

ENVIRONMENTAL SERVICES



## **SIGN PERMIT**

### **REQUIRED MATERIALS:**

\* TWO (2) COPIES OF SITE PLAN SHOWING LOCATION OF ALL EXISTING AND PROPOSED SIGNS RELATIVE TO ADJACENT BUILDINGS OR STRUCTURES. SIGNS MUST BE LABELED EXISTING OR PROPOSED, OR OTHERWISE BE CLEARLY DISTINGUISHABLE.

\* TWO (2) COPIES OF SIGN PLAN IDENTIFYING COLORS, DESIGN, AND DIMENSION OF ALL SIGNS PROPOSED.

\* ONE (1) SIGN PERMIT APPLICATION.

### **\* FILING FEE:**

FOR PERMANENT SIGNS, A FEE OF \$ 95.00 FOR THE FIRST SIGN, PLUS \$5.00 FOR EACH ADDITIONAL SIGN INCLUDED ON THE SAME APPLICATION,  
OR

FOR TEMPORARY SIGNS, A FEE OF \$ 45.00 FOR THE FIRST SIGN, PLUS \$3.00 FOR EACH ADDITIONAL SIGN INCLUDED ON THE SAME APPLICATION.

THE SIGN ORDINANCE WAS ESTABLISHED TO PREVENT THE UNNECESSARY PROLIFERATION OF SIGNS THROUGHOUT THE CITY, THEREBY PROTECTING THE PROPERTY VALUES, SAFETY, AND QUALITY OF LIFE IN THE AREA.

(PLEASE REFER TO CHAPTER 17.52 OF THE CITY DEVELOPMENT CODE)

JACK IN THE BOX  
29317 S. WESTER AVE  
SAN PEDRO, CA 90732

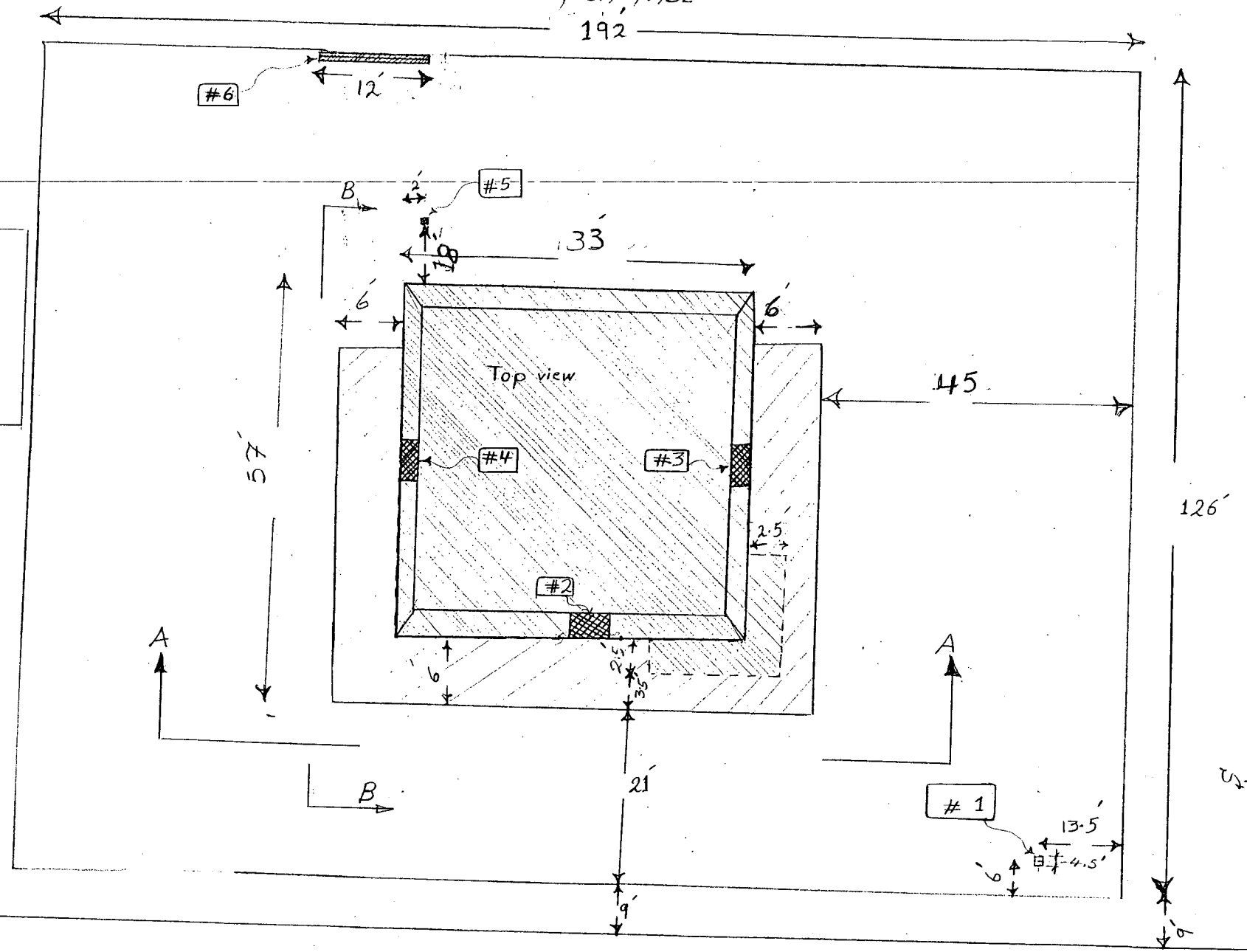
RECEIVED  
JUL - 6 1987  
ENVIRONMENTAL SERVICES

INTERNATIONAL  
HOUSE OF PANCAKES

SECURITY PACIFIC N  
BANK

SUMNERLAND AVE

WESTERN AVE

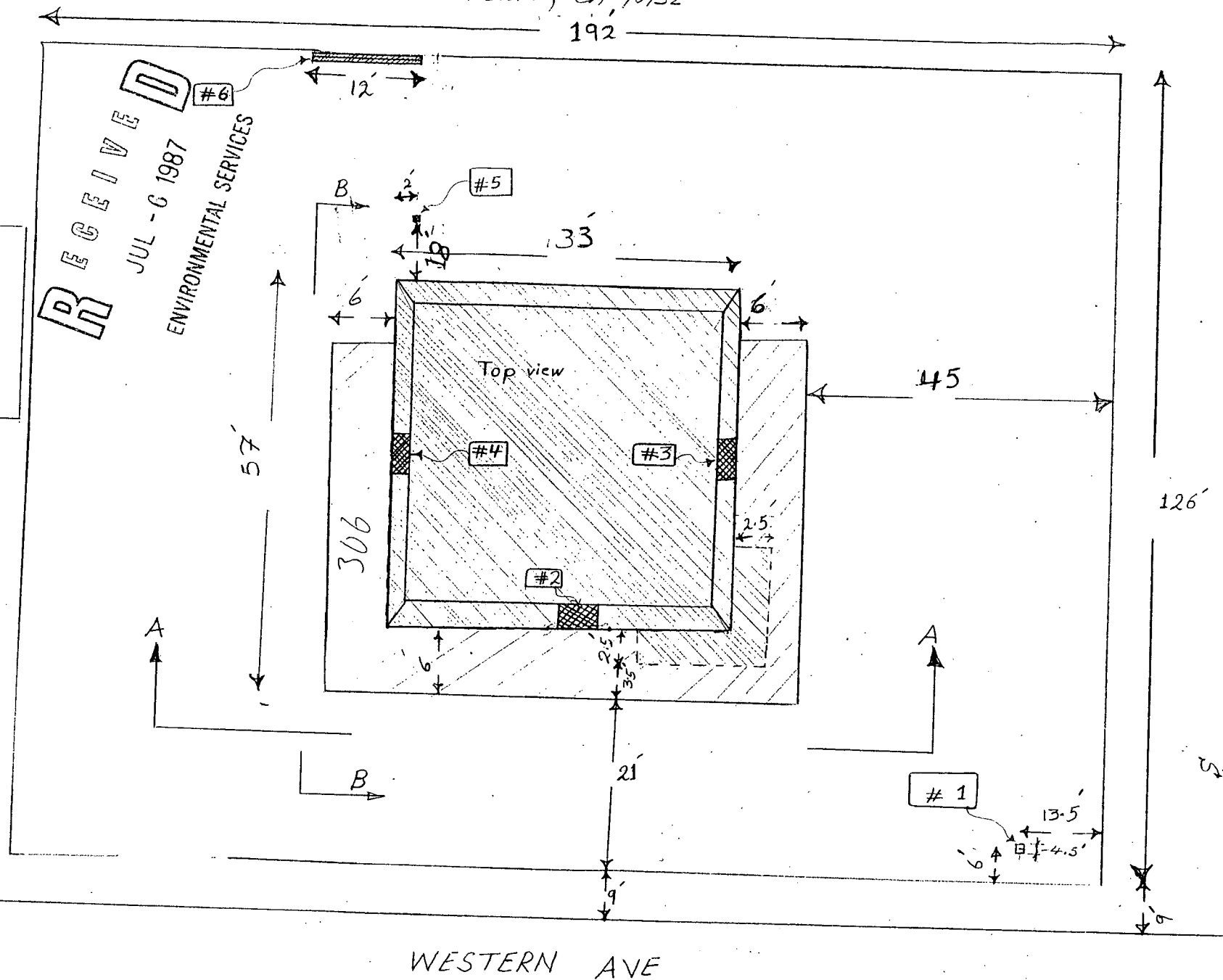


192

RECEIVED  
JUL - 6 1987  
ENVIRONMENTAL SERVICES

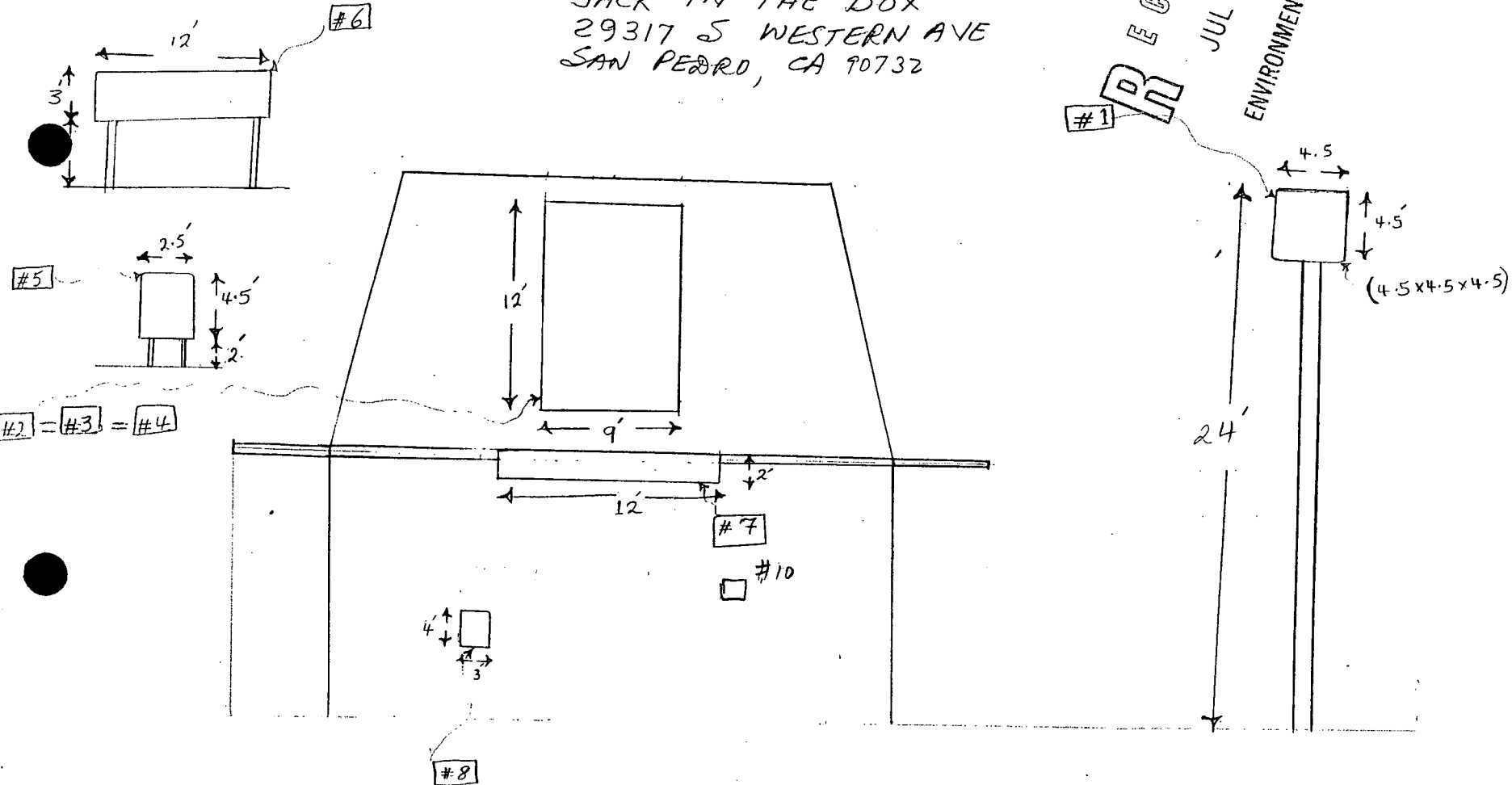
SUMMERLAND AVE

SECURITY PACIFIC N  
BANK



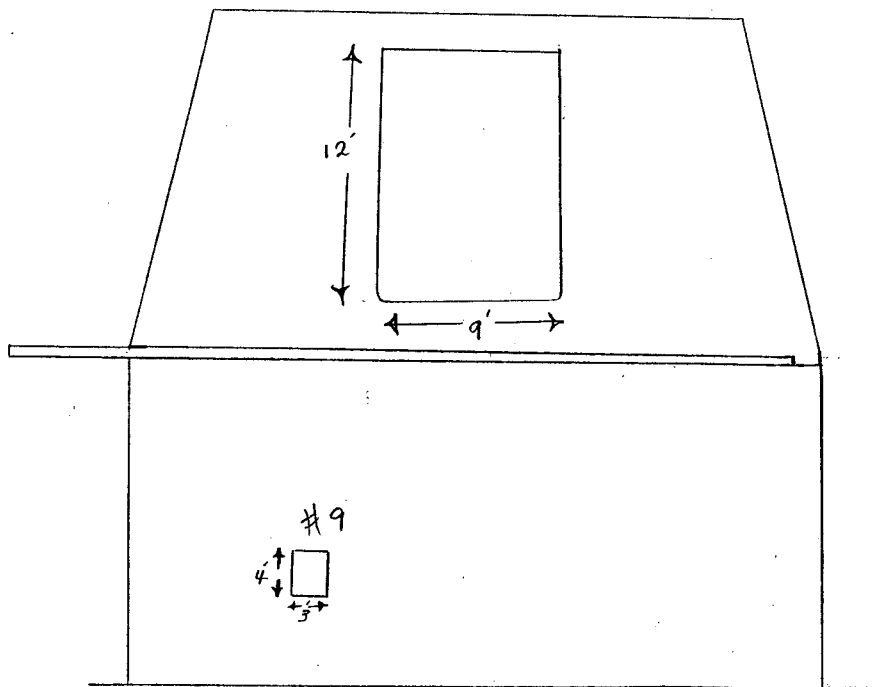
JACK IN THE BOX  
29317 S WESTERN AVE  
SAN PEDRO, CA 90732

RECEIVED  
JUL - 6 1987  
ENVIRONMENTAL SERVICES



FRONT ELEVATIONS  
(SECTION A-A)





RECEIVED  
JUL - 6 1987  
ENVIRONMENTAL SERVICES

NORTH AND SOUTH ELEVATION  
(SECTION B-B)

JACK IN THE BOX  
29317 S. WESTERN AVE

1 FREE STANDING POLE SIGN - 1

2 WALL MOUNTED SIGN

3, WALL MOUNTED SIGN

4 WALL MOUNTED SIGN

5- DRIVE THRU SPEAKER BOX

6- PARKING PANEL

7- TEMPORARY OUTSIDE BANNER

8- WINDOW BANNERS - PERMANENT

9, WINDOW BANNER - TEMPORARY

10. ILLUMINATED SIGN

PER WEEK WEEK OF			MEDIA WEIGHT	BROADCAST EVENT	COUPON PROMOTION	BANNER EVENT	ALTERNATE BROADCAST EVENT	PER WEEK WEEK OF			COMMENTS
1	1	9/29	-	---	---	2 Tacos 99¢	---	1	1	9/29	Test (11/3 - 11/23 radio).
1	2	10/06	I	Hot Club  Supreme  Introduction	---	2 Cheeseburgers for 99¢	---	1	2	10/06	
1	3	10/13	I					1	3	10/13	
1	4	10/20	I					1	4	10/20	
2	5	10/27	S					2	5	10/27	
2	6	11/03	S			2	6	11/03			
2	7	11/10	S			2	7	11/10			
2	8	11/17	S			2	8	11/17			
3	9	* 11/24	-			Hot Club Supreme	---	I Jumbo Jack (Radio Test)	99¢ Jumbo Jack	3	
3	10	12/01	S	3	10			12/01			
3	11	12/08	S	3	11			12/08			
3	12	12/15	S	3	12			12/15			
4	13	* 12/22	-	Brand Event	---	2 Cheeseburgers for 99¢	2 Cheeseburgers for 99¢	4	13	*12/22	
4	14	* 12/29	I			4	14	*12/29			
4	15	1/05	I			4	15	1/05			
4	16	1/12	S			4	16	1/12			
5	17	1/19	I	Fajita  Pita  Introduction	Breakfast/Brand	2 Tacos 99¢	2 Tacos 99¢	5	17	1/19	
5	18	1/26	I			5	18	1/26			
5	19	2/02	I			5	19	2/02			
5	20	2/09	-			5	20	2/09			
6	21	2/16	I	Fajita Pita	Fish Supreme	Fajita Pita (99¢ JJ Alt) A	99¢ Jumbo Jack	6	21	2/16	
6	22	2/23	S			6	22	2/23			
6	23	3/02	S			6	23	3/02			
6	24	3/09	-			6	24	3/09			
7	25	3/16	I	↓	↓	↓	---	7	25	3/16	A) Available at Regional Mgr's discretion for select restaurants.
7	26	3/23	S	7	26	3/23					
7	27	3/30	S	7	27	3/30					
7	28	4/06	-	7	28	4/06					
8	29	4/13	I	8	29	4/13					
8	30	4/20	I	8	30	4/20					
8	31	4/27	S	8	31	4/27					
8	32	5/04	-	8	32	5/04					
9	33	5/11	I	9	33	5/11					
9	34	5/18	S	9	34	5/18					
9	35	* 5/25	S	9	35	*5/25					
9	36	6/01	-	9	36	6/01					
10	37	6/08	I	10	37	6/08					
10	38	6/15	I	10	38	6/15					
10	39	6/22	I	10	39	6/22					
10	40	* 6/29	-	10	40	*6/29					
11	41	7/06	I	11	41	7/06					
11	42	7/13	S	11	42	7/13					
11	43	7/20	S	11	43	7/20					
11	44	7/27	-	11	44	7/27					
12	45	8/03	I	12	45	8/03					
12	46	8/10	S	12	46	8/10					
12	47	8/17	-	12	47	8/17					
12	48	8/24	I	12	48	8/24					
13	49	* 8/31	S	13	49	*8/31					
13	50	9/07	I	13	50	9/07					
13	51	9/14	S	13	51	9/14					
13	52	9/21	-	13	52	9/21					

159 Company  
55 Franchise  
214 Total

20 I T.V./Radio  
20 S T.V.

159 Company  
55 Franchise  
214 Total

20 I T.V./Radio  
20 S T.V.

I=Introductory  
S=Sustaining

\* HHI TODAY WEEK



RANCHO PALOS VERDES

FEE RECEIPT FORM

30940 HAWTHORNE BOULEVARD  
RANCHO PALOS VERDES, CA 90274  
(213) 377-0360

RECEIVED OF  
PAYER:

MAJOR S. DHILLON

TELEPHONE

ADDRESS:

29317 S. WESTERN

CITY

RPV

JOB OWNER:

DBA JACK-IN-THE-BOX

JOB ADDRESS

OR TRACT NO.:

OWNER'S ADDRESS:

SAME

VALIDATION  
(OFFICE  
USE ONLY)

07/06/87 RPV

3\*H  
D137200

\$AMT\$ 175.00

CHEK 175.00

0465A000 14:20

RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND
PLANNING APPLICATION <u>SIGN PERMIT # 356</u>	<u>175<sup>00</sup></u>	<u>1-37200</u>
DOCUMENT/PRINTING		
PARKLAND FEE Project # _____		
DUMPING DEPOSIT		
BUSINESS LICENSE		
PENALTY		
BOND DEPOSIT		
Calculated by <u>PM</u>	Received by <u>MJ</u>	

RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND
<input type="checkbox"/> PLAN CHECK FEE _____ (Type)		
<input type="checkbox"/> OTHER _____		
ENVIRONMENTAL EXCISE TAX		
Check No. <u>1528</u>	TOTAL <u>175<sup>00</sup></u>	





## RANCHO PALOS VERDES

30940 HAWTHORNE BOULEVARD  
RANCHO PALOS VERDES, CA 90274

*Resent 8/11/87*

DHI 17 6707JM61 FWD TIME EXPD  
:DHILLON MAJOR S  
PO BOX 6097  
SAN PEDRO CA 90734-6097  
RETURN TO SENDER



✓  
Major S. Dhillon  
29317 S. Western  
Rancho Palos Verdes, CA 90732

Application Number: SIGN PERMIT #246  
Related Applications: \_\_\_\_\_  
Date Received: 3/15/85 Fee Received: \$61  
Name (landowner): Jack in the Box - Foodmaker, Inc.  
Project Address: 29317 S. Western Ave: San Pedro

**ENVIRONMENTAL REQUIREMENTS**

Date

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**STAFF ACTION**

4-15-85 - approved - 30 days from 3-18-85  
4/18-85

5/9/85 request requested Accty - overcharge

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**EC OR PC ACTION**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**COUNCIL ACTION**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



MEMORANDUM



RANCHO PALOS VERDES

TO: KATHY, ACCOUNTING  
FROM: ANN BRENESELL, ENVIRONMENTAL SERVICES *AB*  
DATE: MAY 9, 1985  
SUBJECT: REFUNDS

The following accounts need to be refunded accordingly:

Special Animal Permit #14- William Harper  
10 Vanderlip Drive, RPV  
ACCOUNT #013729 and 013722

Please refund the balance of Mr. Harper's application fee less processing costs from Account #01-3729. Do not refund the penalty fee from account #01-3722.

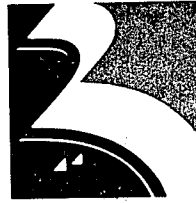
Sign Permit #246 - Jack In The Box  
29311 S. Western, RPV 90732

Please forward a refund check in the amount of \$28.00 from account 01-3729 for an overcharge.

Height Variation #408 - R.W. Horton, Inc.  
426 W. Carson Street #8  
Carson, CA. 90745

Please refund the appropriate amount (receipt attached).

COPIES :



# RANCHO PALOS VERDES

Mayor JOHN C. McTAGGART

Mayor Pro Tem DOUGLAS M. HINCHLIFFE

Councilwoman JACKI BACHARACH

Councilman MELVIN W. HUGHES

Councilman ROBERT E. RYAN

City Manager DONALD F. GULUZZY

April 15, 1985

Mr. Fred Gatchell  
FOODMAKER, INC.  
9040 Telestar Avenue, Suite 121  
El Monte, California 91731

**SUBJECT: SIGN PERMIT #246**

Dear Mr. Gatchell:

Your Sign Permit is approved for the banner on display from 3/18/85 to 4/18/85.

According to Section 17.52.060 Commercial Districts of the Rancho Palos Verdes Municipal Code, sign permits for temporary banners may be issued for 30 day periods that are renewable up to 120 days per calendar year.

However, the City recommends that your temporary promotional banner be displayed inside as a window sign. Window signs are allowed without permits as long as the total area of the signs does not exceed ten percent of the total window area of the face of the building in which it is displayed and that the same signs are not displayed for more than 30 days. Your acceptance of this recommendation is greatly appreciated as it will save fees and processing time.

There has been an overcharge of \$28.00 for your permit. We will be sending you a refund as soon as we complete the processing.

If you have any questions or require additional information, please call me.

Sincerely,

*John W. Roberts*

John Roberts  
Assistant Planner

JR:alb

cc: finance



SIGN PERMIT APPLICATION No. 246

RECEIPT # \_\_\_\_\_

AMOUNT REC'D \_\_\_\_\_

## LANDOWNER:

Name: FOODHAKER INC.Address: 9040 TELSTAR AVE.Phone: EL MONTE CA 91731

Home: \_\_\_\_\_ Office: \_\_\_\_\_

(818) 571-7667

## APPLICANT:

Jack-In-The Box #382

29317 S. Western Ave.

San Pedro, Calif.

Home: \_\_\_\_\_ Office: (213) 548-9938Address of Subject Property: 29317 S. WESTERNCurrent Zoning: CGLength of Storefront(s) 38' = 40'

## 1. Number and dimensions and nature of proposed signs:

Quantity	Dimensions width x length x total height	Permanent or Temporary	If Temporary, Give Duration
<u>1</u>	<u>10 1/2' X 2 1/2' approx</u>	<u>TEMPORARY</u> <u>Permanent</u>	<u>4 - 6 wks.</u>
<u>1</u>	<u>3' X 3' approx</u>	<u>Permanent</u>	
_____	_____	_____	_____
_____	_____	_____	_____

## 2. Number and dimensions of all existing signs:

Quantity Dimensions

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

NONE

## 3. Briefly discuss the purpose and need for each proposed sign:

PERMANENT FOR SPECIALS

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## 4. Indicate sign copy

I certify that the information and materials contained in this application are accurate and complete.

Signature of Landowner: (District Mgr.)Date: 3-15-85

Signature of Applicant:

ISHRAT ALIDate: 3-15-85

## SIGN PERMIT

### Required Materials:

- Two (2) copies of site plan showing location of all existing and proposed signs relative to adjacent buildings or structures. Signs must be labeled existing or proposed, or otherwise be clearly distinguishable.
- Two (2) copies of sign plan identifying colors, design, and dimensions of all signs proposed.
- One Sign Permit Application.
- Filing Fee:

For permanent signs, a fee of \$68. for the first sign, plus \$4 for each additional sign included on the same application, OR

For temporary signs, a fee of \$33. for the first sign, plus \$4 for each additional sign included on the same application.

The sign ordinance was established to prevent the unnecessary proliferation of signs throughout the City, thereby protecting the property values, safety, and quality of life in the area.

(Please refer to Chapter 17.52 of City Development Code)

1/1/80



3.15.85

- S.P. 246 JACK IN THE BOX

- EIGHT SIGNS FOR THE YEAR MARCH 18, 1985 THROUGH MARCH 18, 1986. \$33<sup>00</sup> FOR FIRST SIGN AND 4<sup>00</sup> FOR THE ADDITIONAL SEVEN.

- SIGNS WILL ONLY ADVERTISE SPECIALS

- SIGNS WILL BE IN PLACE FOR 4 TO 6 WEEK AT A TIME.

- ONE BANNER AT A TIME WILL BE DISPLAYED

- SIZE OF BANNER 10½' x 2½' 1

- FIRST BANNER WILL BE DISPLAYED FROM 3.18.85 TO 4.15.85.

- THERE MAY BE AN OCCASIONAL WINDOW SIGN OF NOT MORE THAN 10% OF TOTAL WINDOW AREA.





RANCHO PALOS VERDES

# FEE RECEIPT FORM

30940 HAWTHORNE BOULEVARD  
RANCHO PALOS VERDES, CA 90274  
(213) 377-0360

RECEIVED OF  
PAYER:

JACK IN THE BOX

TELEPHONE

(213) 549-9938

ADDRESS:

29311 S. WESTERN AVE.

CITY

RANCHO PALOS VERDES

JOB OWNER:

FOODMAKER INC.

JOB ADDRESS  
OR TRACT NO.:

OWNER'S ADDRESS:

9040 TELSTAR AVE. EL MONTE  
CA 91731

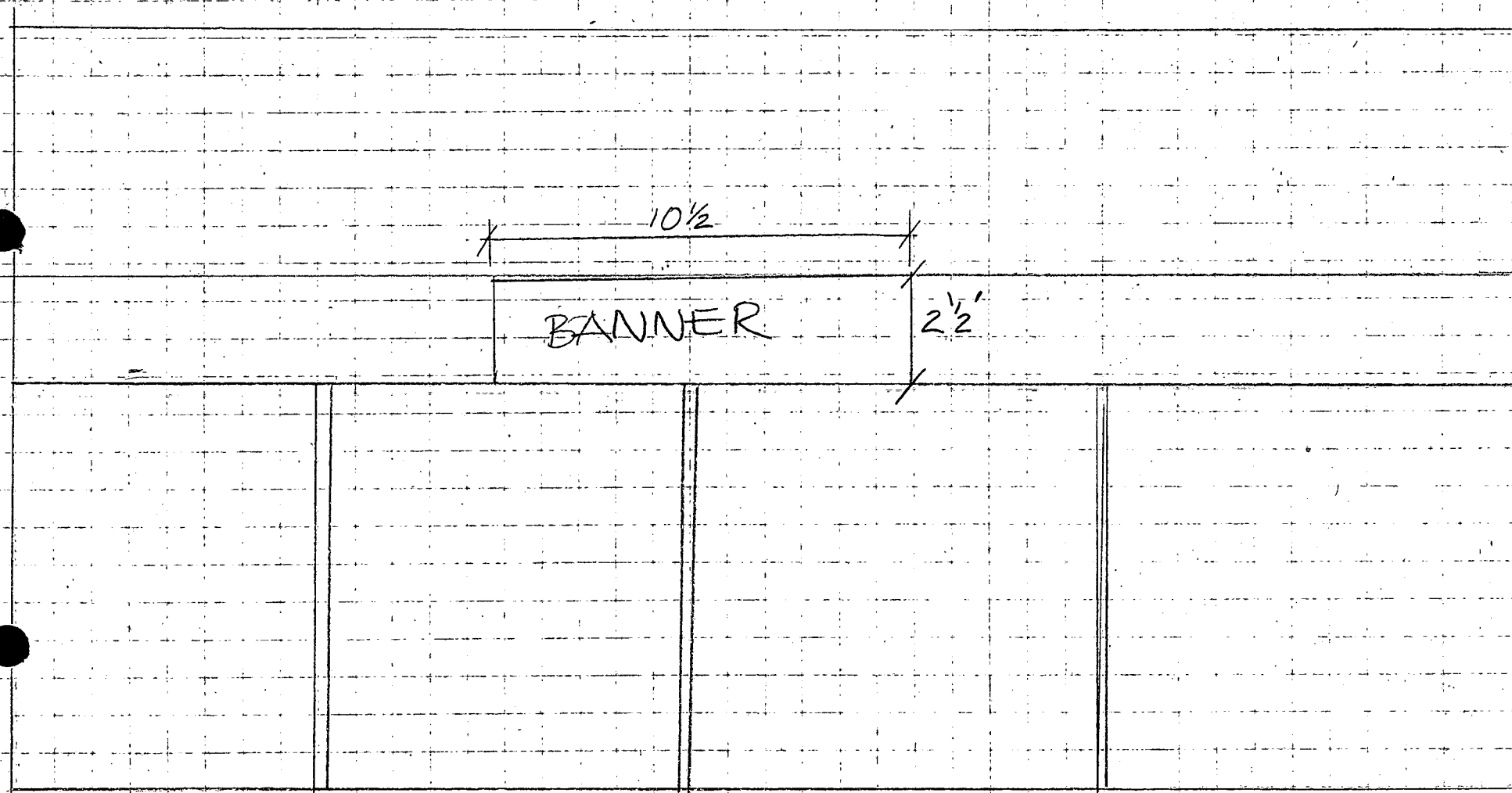
VALIDATION  
(OFFICE  
USE ONLY)

03/15/85 RPV

2\*#  
D013729 #BELOW  
\$AMT\$ 61.00  
1HH  
CASH 61.00  
8195A000 12:56

RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND	RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND
PLANNING APPLICATION <u>SP</u> # <u>246</u>	<u>\$ 61<sup>00</sup></u>	<u>01-3729</u>	<input type="checkbox"/> PLAN CHECK FEE _____ (Type)		
DOCUMENT/PRINTING			<input type="checkbox"/> OTHER _____		
PARKLAND FEE Project # _____			<input type="checkbox"/> OTHER _____		
DUMPING DEPOSIT			ENVIRONMENTAL EXCISE TAX		
BUSINESS LICENSE			Check No. <u>CASH</u>	TOTAL	
PENALTY					
BOND DEPOSIT					
Calculated by <u>Daphne A. Parker</u>	Received by <u>Umu</u>				





29317 S WESTERN

JACK IN THE BOX

3.15.85

THE DIRECTOR  
RANCHO PALOS VERDES  
30940 HAWTHORNE BLVD  
RANCHO PALOS VERDES.

DEAR SIR/MADAM

WE ARE ENCLOSED AN APPLICATION FOR THE APPROVAL  
OF HANGING OUTSIDE ~~BA~~ PROMOTIONAL BANNER ON  
AN ANNUAL BASIS. THIS KIND OF BANNER WE HANG  
<sup>EIGHT</sup>  
~~FOUR TO SIX~~ DIFFERENT TIME OF A YEAR. LET US  
ASSURE YOU THAT THERE WILL NOT BE MORE THAN  
ONE ~~SIGN~~ BANNER OTHER THAN WINDOW SIGN  
WHICH SIZE WOULD ~~BE~~ ALSO NOT MORE THAN  
10 % OF THE WINDOW.

WE HOPE BY GRANTING ANNUALLY WE WOULD BE  
ENABLE TO SERVE THE COMMUNITY BETTER AND  
CONDUCT THE BUSINESS CONVENIENTLY AND  
PROFESSIONALLY.

THANKS.

NOTE: THE FIRST BANNER WOULD BE  
PLACED EFFECTIVE 3/18/85  
(FOR FOUR WEEKS) TO 4/15/85

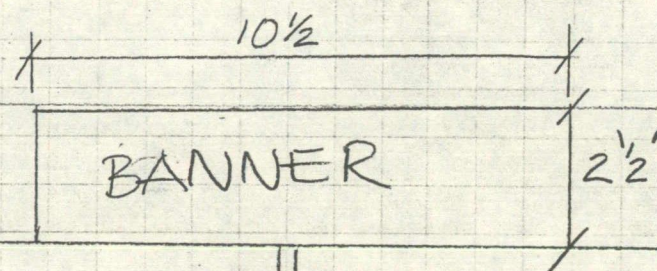
YOURS

FOR JACK IN THE BOX

*Ishrat Ali*

ISHRAT ALI  
MANAGER





Z9317 S. WESTERN

JACK IN THE BOX



April 4, 1969

Certified - Return  
Requested

Foodmaker, Incorporated  
9330 Balboa Avenue  
San Diego, California 92120

Gentlemen:

Subject: Zone Exception Case No. 9034-(4)  
Larger signs than permitted in Zone C-1  
Southwest corner of Western Avenue and  
Park Western Drive  
Harbor Heights Zoned District

The Regional Planning Commission, by its action of March 25, 1969, granted the above-described exception. The documents pertaining to this case are enclosed.

Your attention is called to the following:

1. That Condition No. 1 requires acceptance by the owner of all conditions of this exception;
2. That all requirements of the Zoning Ordinance and of the C-1 Zone must be complied with unless specifically set forth in the exception or shown on the approved plan;
3. That during the fifteen-day period following your receipt of this letter, the decision may be appealed to the Board of Supervisors by written communication and deposit of the sum necessary to cover costs of preparing a transcript of the public hearing. Caution should be exercised in making any expenditure under the exception during this period.

Very truly yours,

THE REGIONAL PLANNING COMMISSION

O. K. Christenson, Director of Planning

RS:ml

Enclosures

cc: Building and Safety; Board of Supervisors; Zoning Enforcement  
Foodmaker, Inc., P. O. Box 783, San Diego, Calif. 92112  
Edward J. Till, 6705 S. Painter Ave., Whittier, Calif. 90608



# RECEIPT FOR CERTIFIED MAIL—30¢

No. 015567

SENT TO <b>APP 9034</b>		POSTMARK OR DATE  <b>9-7-69</b>		
STREET AND NO.				
P. O., STATE, AND ZIP CODE				
<p>EXTRA SERVICES FOR ADDITIONAL FEES</p> <table border="1"> <tr> <td> <p><b>Return Receipt</b></p> <p>Shows to whom and date delivered</p> <p><input type="checkbox"/> 10¢ fee</p> </td> <td> <p>Shows to whom, date, and where delivered</p> <p><input type="checkbox"/> 35¢ fee</p> </td> <td> <p>Deliver to Addressee Only</p> <p><input type="checkbox"/> 50¢ fee</p> </td> </tr> </table>			<p><b>Return Receipt</b></p> <p>Shows to whom and date delivered</p> <p><input type="checkbox"/> 10¢ fee</p>	<p>Shows to whom, date, and where delivered</p> <p><input type="checkbox"/> 35¢ fee</p>
<p><b>Return Receipt</b></p> <p>Shows to whom and date delivered</p> <p><input type="checkbox"/> 10¢ fee</p>	<p>Shows to whom, date, and where delivered</p> <p><input type="checkbox"/> 35¢ fee</p>	<p>Deliver to Addressee Only</p> <p><input type="checkbox"/> 50¢ fee</p>		

POD Form 3800 Mar. 1966 **NO INSURANCE COVERAGE PROVIDED—NOT FOR INTERNATIONAL MAIL** (See other side)



ZONE EXCEPTION CASE NO. 9034-(4)

The Regional Planning Commission of the County of Los Angeles EXCEPTS the property shown on the attached legal description from the provisions of Zoning Ordinance No. 1494, but only insofar as this exception is necessary to permit additional signs, other than those permitted in Zone C-1, including wall placards having an area in excess of 300 square feet and five banner signs, to an existing drive-in eating facility, subject to the attached conditions numbered 1 through 7.

This exception shall be null and void unless used prior to March 25, 1970.

The foregoing is the decision of The Regional Planning Commission on March 25, 1969.

THE REGIONAL PLANNING COMMISSION

O. K. Christenson, Director of Planning

RS:ml



## SCHEDULE C

The land referred to in this policy is situated in the county of Los Angeles, state of California, and is described as follows:

That portion of lot 3 of Tract No. 2074, in the County of Los Angeles, state of California, as per map recorded in book 22 page 9 of Maps, in the office of the County Recorder of said county, described as follows:

Beginning at a point in the easterly line of Tract No. 16726, as per map recorded in book 429 pages 12 to 20 inclusive of Maps, records of said county, distant thereon North 6° 10' 35" East 450.00 feet from the northerly line of Crestwood Street, 60 feet wide as shown on the map of said Tract No. 16726; thence along the said easterly line North 6° 10' 35" East 180.50 feet to the north east corner of lot 59 of said Tract No. 16726; thence along the prolongation of the northerly line of said Tract No. 16726, South 89° 57' 33" East 153.97 feet to the westerly line of Western Avenue 100 feet wide as shown on the said map of Tract No. 16726; thence along the said westerly line South 6° 10' 35" West to a point thereon South 83° 49' 25" East from the point of beginning; thence North 83° 49' 25" West 155 feet, more or less, to the point of beginning.

9034

ZONE EXCEPTION CASE NO. 9034-(4)

CONDITIONS

1. This exception shall not be effective for any purpose until the owner of the property involved, or his duly authorized representative, has filed at the office of said Regional Planning Commission his affidavit stating that he is aware of, and accepts, all the conditions of this exception;
2. It is hereby declared to be the intent that if any provision of this exception is held or declared to be invalid, the exception shall be void and the privileges granted hereunder shall lapse;
3. It is further declared and made a condition of this exception that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the exception shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days;
4. That the property be developed substantially as shown on revised plot plans marked Exhibit "A" dated March 3, 1969;
5. That all signs be lighted either indirectly or internally;
6. That no flashing or pulsating signs shall be allowed;
7. That exterior walls above the eave line of the main structure be painted and maintained in a single color, as indicated on the plot plan.

RS:dak

March 19, 1969



O. K. CHRISTENSON  
DIRECTOR OF PLANNING

COUNTY OF LOS ANGELES  
THE REGIONAL PLANNING COMMISSION

320 WEST TEMPLE STREET  
LOS ANGELES, CALIFORNIA 90012  
TELEPHONE 628-9211

April 4, 1969

COMMISSIONERS

OWEN H. LEWIS  
CHAIRMAN  
ALFRED E. PAONESSA  
VICE-CHAIRMAN  
MRS. L. S. BACA  
ARTHUR J. BAUM  
LOUIS KANASTER

IRMA RUTHER  
SECRETARY TO THE COMMISSION

Certified - Return  
Requested

Foodmaker, Incorporated  
9330 Balboa Avenue  
San Diego, California 92120

Gentlemen:

Subject: Zone Exception Case No. 9034-(4)  
Larger signs than permitted in Zone C-1  
Southwest corner of Western Avenue and  
Park Western Drive  
Harbor Heights Zoned District

The Regional Planning Commission, by its action of March 25, 1969, granted the above-described exception. The documents pertaining to this case are enclosed.

Your attention is called to the following:

1. That Condition No. 1 requires acceptance by the owner of all conditions of this exception;
2. That all requirements of the Zoning Ordinance and of the C-1 Zone must be complied with unless specifically set forth in the exception or shown on the approved plan;
3. That during the fifteen-day period following your receipt of this letter, the decision may be appealed to the Board of Supervisors by written communication and deposit of the sum necessary to cover costs of preparing a transcript of the public hearing. Caution should be exercised in making any expenditure under the exception during this period.

Very truly yours,

THE REGIONAL PLANNING COMMISSION

*for Edgar J. Irvine*

O. K. Christenson, Director of Planning

RS:ml

Enclosures

cc: Building and Safety; Board of Supervisors; Zoning Enforcement  
Foodmaker, Inc., P. O. Box 783, San Diego, Calif. 92112  
Edward J. Till, 6705 S. Painter Ave., Whittier, Calif. 90608

ZONE EXCEPTION CASE NO. 9034-(4)

CONDITIONS

1. This exception shall not be effective for any purpose until the owner of the property involved, or his duly authorized representative, has filed at the office of said Regional Planning Commission his affidavit stating that he is aware of, and accepts, all the conditions of this exception;
2. It is hereby declared to be the intent that if any provision of this exception is held or declared to be invalid, the exception shall be void and the privileges granted hereunder shall lapse;
3. It is further declared and made a condition of this exception that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the exception shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days;
4. That the property be developed substantially as shown on revised plot plans marked Exhibit "A" dated March 3, 1969;
5. That all signs be lighted either indirectly or internally;
6. That no flashing or pulsating signs shall be allowed;
7. That exterior walls above the eave line of the main structure be painted and maintained in a single color, as indicated on the plot plan.

RS:dak

March 19, 1969



## SCHEDULE C

The land referred to in this policy is situated in the county of Los Angeles, state of California, and is described as follows:

That portion of lot 3 of Tract No. 2074, in the County of Los Angeles, state of California, as per map recorded in book 22 page 9 of Maps, in the office of the County Recorder of said county, described as follows:

Beginning at a point in the easterly line of Tract No. 16726, as per map recorded in book 429 pages 12 to 20 inclusive of Maps, records of said county, distant thereon North  $6^{\circ} 10' 35''$  East 450.00 feet from the northerly line of Crestwood Street, 60 feet wide as shown on the map of said Tract No. 16726; thence along the said easterly line North  $6^{\circ} 10' 35''$  East 180.50 feet to the north east corner of lot 59 of said Tract No. 16726; thence along the prolongation of the northerly line of said Tract No. 16726, South  $89^{\circ} 57' 33''$  East 153.97 feet to the westerly line of Western Avenue 100 feet wide as shown on the said map of Tract No. 16726; thence along the said westerly line South  $6^{\circ} 10' 35''$  West to a point thereon South  $83^{\circ} 49' 25''$  East from the point of beginning; thence North  $83^{\circ} 49' 25''$  West 155 feet, more or less, to the point of beginning.

9034

O. K. CHRISTENSON  
DIRECTOR OF PLANNING

COUNTY OF LOS ANGELES  
THE REGIONAL PLANNING COMMISSION

320 WEST TEMPLE STREET  
LOS ANGELES, CALIFORNIA 90012  
TELEPHONE 628-9211

COMMISSIONERS

OWEN H. LEWIS  
CHAIRMAN

ALFRED E. PAONESSA  
VICE-CHAIRMAN

MRS. L. S. BACA

ARTHUR J. BAUM

LOUIS KANASTER

IRMA RUTHER  
SECRETARY TO THE COMMISSION

April 4, 1969

Certified - Return  
Requested

Foodmaker, Incorporated  
9338 Balboa Avenue  
San Diego, California 92120

Gentlemen:

Subject: Zone Exception Case No. 9034-(4)  
Larger signs than permitted in Zone C-1  
Southwest corner of Western Avenue and  
Park Western Drive  
Harbor Heights Zoned District

The Regional Planning Commission, by its action of March 25, 1969, granted the above-described exception. The documents pertaining to this case are enclosed.

Your attention is called to the following:

1. That Condition No. 1 requires acceptance by the owner of all conditions of this exception;
2. That all requirements of the Zoning Ordinance and of the C-1 Zone must be complied with unless specifically set forth in the exception or shown on the approved plan;
3. That during the fifteen-day period following your receipt of this letter, the decision may be appealed to the Board of Supervisors by written communication and deposit of the sum necessary to cover costs of preparing a transcript of the public hearing. Caution should be exercised in making any expenditure under the exception during this period.

Very truly yours,

THE REGIONAL PLANNING COMMISSION

O. K. Christenson, Director of Planning

RS:ml

Enclosures

cc: Building and Safety; Board of Supervisors; Zoning Enforcement  
Foodmaker, Inc., P. O. Box 783, San Diego, Calif. 92112  
Edward J. Till, 6705 S. Painter Ave., Whittier, Calif. 90608



LOCAL EXCEPTION CASE NO. 5026-14)

The Regional Planning Commission of the County of Los Angeles accepts the property shown on the attached legal description from the provisions of Zoning Ordinance No. 1494, but only insofar as this exception is necessary to permit additional signs, other than those permitted in Zone C-1, including wall placards having an area in excess of 100 square feet and five banner signs, to an existing drive-in eating facility, subject to the attached conditions numbered 1 through 7.

This exception shall be null and void unless used prior to March 25, 1970.

The foregoing is the decision of the Regional Planning Commission on March 24, 1969.

THE REGIONAL PLANNING COMMISSION

G. S. Christensen, Director of Planning

US:ml

## SCHEDULE C

The land referred to in this policy is situated in the county of Los Angeles, state of California, and is described as follows:

That portion of lot 3 of Tract No. 2074, in the County of Los Angeles, state of California, as per map recorded in book 22 page 9 of Maps, in the office of the County Recorder of said county, described as follows:

Beginning at a point in the easterly line of Tract No. 16726, as per map recorded in book 429 pages 12 to 20 inclusive of Maps, records of said county, distant thereon North 6° 10' 35" East 450.00 feet from the northerly line of Crestwood Street, 60 feet wide as shown on the map of said Tract No. 16726; thence along the said easterly line North 6° 10' 35" East 180.50 feet to the north east corner of lot 59 of said Tract No. 16726; thence along the prolongation of the northerly line of said Tract No. 16726, South 89° 57' 33" East 153.97 feet to the westerly line of Western Avenue 100 feet wide as shown on the said map of Tract No. 16726; thence along the said westerly line South 6° 10' 35" West to a point thereon South 83° 49' 25" East from the point of beginning; thence North 83° 49' 25" West 155 feet, more or less, to the point of beginning.

9034

ZONE EXCEPTION CASE NO. 9034-(4)

CONDITIONS

1. This exception shall not be effective for any purpose until the owner of the property involved, or his duly authorized representative, has filed at the office of said Regional Planning Commission his affidavit stating that he is aware of, and accepts, all the conditions of this exception;
2. It is hereby declared to be the intent that if any provision of this exception is held or declared to be invalid, the exception shall be void and the privileges granted hereunder shall lapse;
3. It is further declared and made a condition of this exception that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the exception shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days;
4. That the property be developed substantially as shown on revised plot plans marked Exhibit "A" dated March 3, 1969;
5. That all signs be lighted either indirectly or internally;
6. That no flashing or pulsating signs shall be allowed;
7. That exterior walls above the eave line of the main structure be painted and maintained in a single color, as indicated on the plot plan.

RS:dak

March 19, 1969



HEARING SUMMARY

CASE NO. 9034 DATE 2/12

NO. SWORN 1 PRESENTED BY \_\_\_\_\_ INVESTIGATOR \_\_\_\_\_

IN FAVOR /

NAME (1) WILL (2) \_\_\_\_\_

ADDRESS \_\_\_\_\_  
WHITTIER \_\_\_\_\_

OPPOSED \_\_\_\_\_

NAME (1) \_\_\_\_\_ (2) \_\_\_\_\_

ADDRESS \_\_\_\_\_  
\_\_\_\_\_

TESTIMONY

PLEASE P R I N T NAME

STREET AND NO.

POST OFFICE (CITY) AND ZIP CODE

97010 Edward J. Till.

67055. Painter Ave Whittier

90608

Name

Street & No.

Post Office & Zip Code

PLEASE P R I N T YOUR NAME AND ADDRESS

CASE NO. 9034-151

DATE 2-13-69

PLANNER Heppenhamme



ZONE EXCEPTION CASE NO. 9034-(4)  
SUMMARY OF THE HEARING:

ZB HEARING DATE: February 13, 1969  
ZB ACTION DATE: March 18, 1969  
RPC DATE: March 25, 1969

One (1) person was sworn and testified without opposition in favor of this application to construct large signs in connection with the operation of a Jack-in-the-Box hamburger stand in zone C-1. The City of Los Angeles across the street has a C-2 zone and the applicant indicated that in that zone there was a large shopping center sign quite comparable to what the applicant proposed on the subject property. The signs which the applicant proposes are part of its normal business operation and are intended to characterize the appearance of its premises wherever they are found across the country. There will be three wall signs, one hundred and one square feet in area; there will be a drive-through sign, twenty-one square feet per face; a menu board, thirty-five square feet; and a pole sign, one hundred and fifteen square feet. The head on the pole sign will rotate and the sign will be indirectly lighted. There will also be a sign at the public speaking box at which the customer orders his meal. The applicant claimed that administrative approval of all signs except those to be affixed to the walls of the stand itself has been obtained from the Director of Planning as the Ordinance authorizes.

THE ZONING BOARD FINDS:

- 1-4 being Items 1-4 of the Factual Data Report.
5. There were no protests to the granting of this exception.
6. The exception will not alter the character of the area nor be detrimental to the character of the property in the vicinity.

THE ZONING BOARD RECOMMENDS:

That this exception be GRANTED subject to the attached conditions.

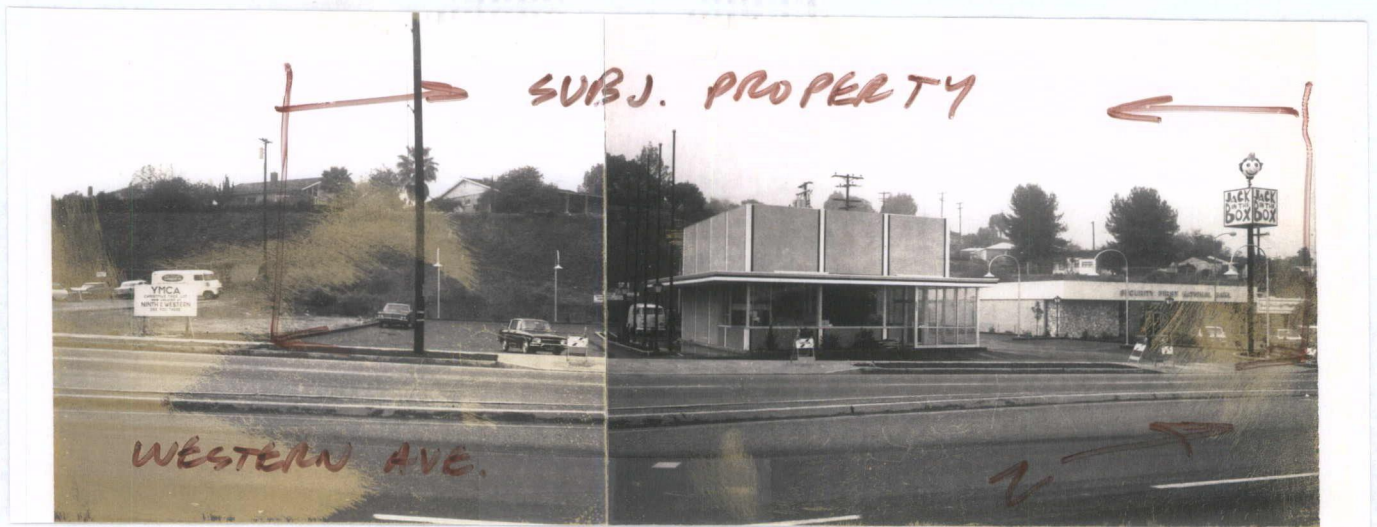
ZONING BOARD MEMBERS CONCURRING:

Mr. Lewis, Chairman; Mr. Kanaster and Mr. Irvine

COUNTY COUNSEL present: Mr. Hudgens

RS:dak







THE REGIONAL PLANNING COMMISSION - COUNTY OF LOS ANGELES  
DATE OF HEARING: February 13, 1969

TO: O. K. Christenson  
Director of Planning

REPORT ON:

ZONE EXCEPTION CASE NO. 9034-(4)

Filed:

January 2, 1969

Applicant:

Foodmaker, Inc.  
9330 Balboa Avenue  
San Diego, Calif. 92120

Owner:

Same

Request:

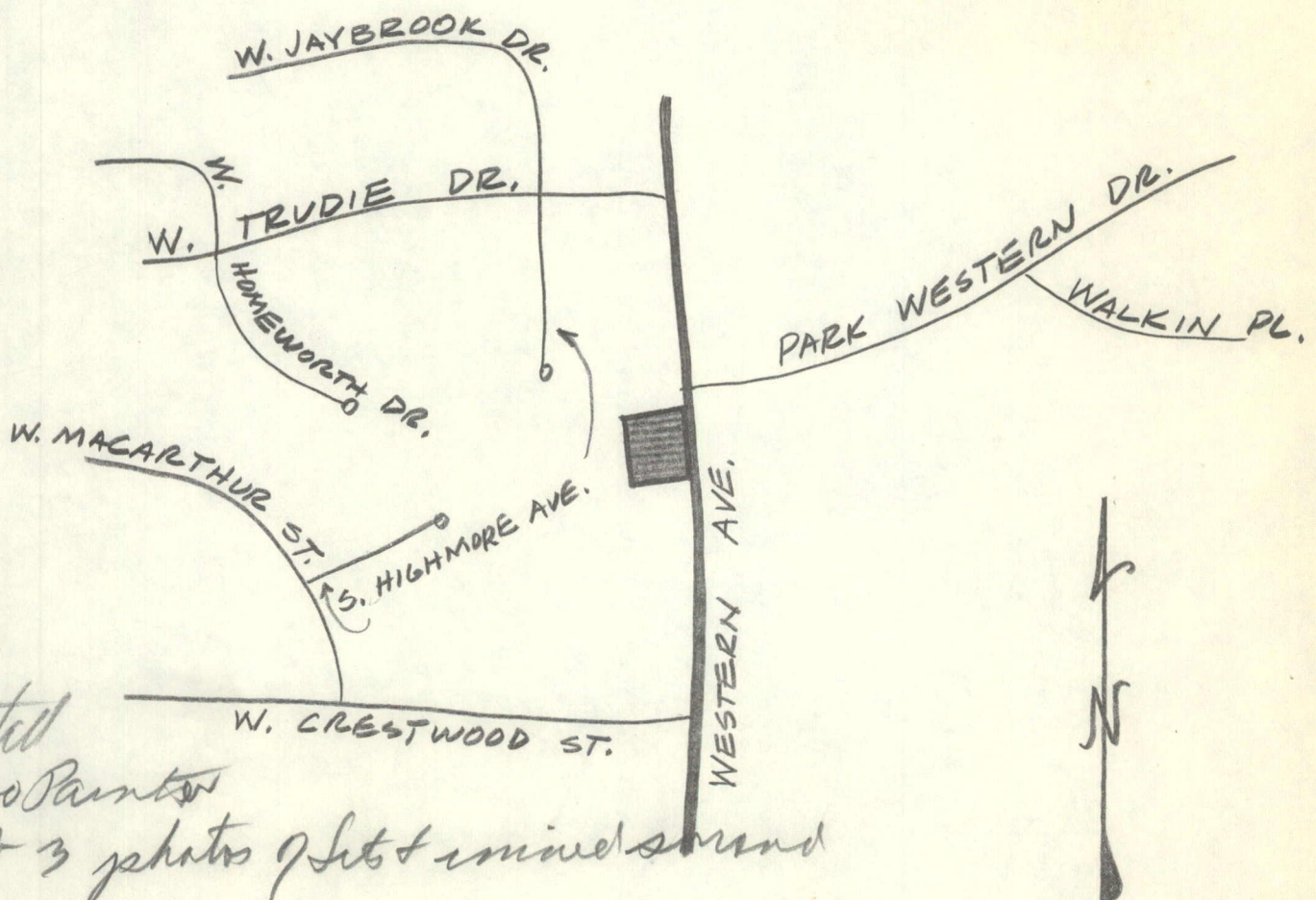
Larger signs than permitted in C-1

Location:

Southwest corner of Western Avenue and  
Park Western Drive  
Harbor Heights Zoned District

Zone:

C-1



LOCATION MAP  
(NO SCALE)



ZONE EXCEPTION CASE NO. 9034-(4)  
FACTUAL DATA REPORT

DATE OF HEARING:  
February 13, 1969

APPLICANT'S PROPOSAL: To permit additional signs, other than those permitted in Zone C-1, including wall placards having an area in excess of 300 square feet and five banner signs on property zoned C-1 (Restricted Business).

The plot plan marked Exhibit "A" indicates the location of the "Jack-in-the-Box" building on the site. Exhibit "B" shows a 35 foot tall pylon display with four 36 square foot sign faces. Exhibit "B-1" describes three 85 square foot sign panels on each of the front, right and left elevations. Exhibit "B-2" illustrates the nine-foot sign face for the metal flag signs. The flag pole is 30 feet tall.

Outdoor advertising signs in the C-1 zone (Restricted Business) must not exceed two in number on any lot or parcel of land and each shall not exceed 42 square feet in area (Ordinance 1494, Section 255h(2)).

FACTUAL DATA BEARING ON THIS CASE ARE NOTED AS FOLLOWS:

1. The subject property is a flat, trapezoidal-shaped parcel which fronts 149 feet on Western Avenue. The site is developed with a "Jack-in-the-Box" without signs on the building. The pylon sign is installed and located as indicated on Exhibit "B". The parking and drive-in area is paved with asphalt.

Zone Exception Case No. 3180, a request for a 10' by 30' advertising sign on property just south of the subject property, was approved by the Regional Planning Commission on November 26, 1957. This sign has been removed.

Zone Exception Case No. 8432, a request for a billiard salon on property 125 feet north of Crestwood Street on the westerly side of South Western Avenue, was approved by the Regional Planning Commission on June 6, 1967.

Plot Plan No. 13919 was approved by the staff for the Security First National Bank on property adjacent to the north.

The surrounding area is developed to commercial uses to the north, east and south and single family residences to the west. A large shopping center is directly across the street in the City of Los Angeles.

2. The subject property is zoned C-1 by Ordinance 8348, effective on March 7, 1963.
3. South Western Avenue is a 100-foot Major Highway with curbs, gutters and sidewalks.
4. Sixty-seven (67) notices of this hearing were mailed by first-class mail, postage prepaid, on January 24, 1969, to those persons whose names and mailing addresses appeared on the latest available assessment roll of the County Assessor as property owners of record within a 500-foot radius of the boundaries of the property under consideration.

Eighteen (18) additional notices were mailed on the same date to those persons whose names and mailing addresses appeared on a courtesy list. Legal notice of this hearing was published in the San Pedro News-Pilot on January 24, 1969.

1. No water cert.

Respectfully submitted,

Rodney Hippenhammer  
Planning Assistant



# PROOF OF PUBLICATION

(2015.5 C.C.P.)

This space is for the County Clerk's Filing Stamp

STATE OF CALIFORNIA,

County of Los Angeles,

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter. I am the principal clerk of the printer

of the

## SAN PEDRO NEWS-PILOT

a newspaper of general circulation, printed and published

Daily, except Sunday, all legal holidays

in the City of Los Angeles

County of Los Angeles, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Los Angeles, State of

California, under the date of 9/27 19 29

Case Number 287483; that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

January 24,

all in the year 19 69

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at San Pedro, California

California, this 24 day of January, 19 69

Signature

Free copies of this blank form may be secured from:  
LOS ANGELES

NEWSPAPER SERVICE BUREAU, INC.

Since 1934

Legal Advertising Clearing House

224 W. First St., Los Angeles, Calif. 90012

Telephone MADison 5-2541

Please request GENERAL Proof of Publication when ordering this form.

Proof of Publication of

San Pedro News-Pilot—64964  
ZONE EXCEPTION CASE 9034. (4)  
A public hearing in the matter of a request for an exception to the C-1 (Restricted Business) Zone to permit additional signs, other than those permitted in Zone C-1, including wall placards having an area in excess of 300 square feet and five banner signs located on the southwest corner of Western Avenue and Park Western Drive in the Harbor Heights Zoned District, Los Angeles County, will be held before the Zoning Board, in the Regional Planning Commission hearing room, Room 150, Hall of Records, 320 West Temple Street, Los Angeles 90012, on Thursday, February 13, 1969, at 9:30 a.m. at which time proponents and opponents of the proposed use will be heard.  
Owen H. Lewis, Chairman  
O. K. Christenson,  
Director of Planning  
THE REGIONAL  
PLANNING COMMISSION  
County of Los Angeles.  
Pub. Jan. 24, 1969.



January 24, 1969

Foodmaker, Inc.  
9330 Balboa Avenue  
San Diego, California

Gentlemen:

Subject: Zone Exception Case No. 9034-(4)

This is to inform you that a public hearing of your request for an exception to the C-1 (Restricted Business) Zone to permit additional signs, other than those permitted in Zone C-1, including wall placards having an area in excess of 300 square feet and five banner signs located on the southwest corner of Western Avenue and Park Western Drive in the Harbor Heights Zoned District, Los Angeles County, will be held before the Zoning Board, in the Regional Planning Commission hearing room, Room 150, Hall of Records, 320 West Temple Street, Los Angeles 90012, on Thursday, February 13, 1969, at 9:30 a.m.

We request that you be present or represented at this hearing. Failure to do so will be construed by the Commission as a waiver of your right to present further evidence.

Upon receipt of this notification, please call Mr. Rodney Hippenhammer, at 628-9211, Extension 63514.

Very truly yours,

THE REGIONAL PLANNING COMMISSION  
O. K. Christenson, Director of Planning

Darrell M. Flanery, Section Head  
Exceptions and Permits

DMF:RH:ts

cc: Foodmaker, Inc., P. O. Box 783, San Diego, California  
Kemmerer Engineering Company, Inc., Edward J. Till,  
P. O. Box 856, Whittier, California



THE REGIONAL PLANNING COMMISSION - COUNTY OF LOS ANGELES  
Hall of Records, Room 1346-320 West Temple Street, Los Angeles, California

January 24, 1969

Lt. William R. Hanke  
Bureau of Research and Development  
501-A Old Hall of Records  
Los Angeles, California

SUBJECT: ZONE EXCEPTION CASE NO. 9034-(4)

This is to inform you that

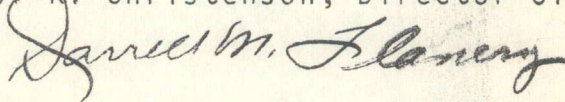
Foodmaker, Inc.  
9330 Balboa Avenue  
San Diego, California

has applied for a Zone Exception, as shown on the attached notice.

This Department would appreciate any information from your files, or at your disposal, relative to the development of this property to the requested use which may affect the decision to be rendered at this hearing. To be effective, this information must be presented on or before the designated time of hearing.

Very truly yours,

THE REGIONAL PLANNING COMMISSION  
O. K. Christenson, Director of Planning



Darrell M. Flanery, Section Head  
Exceptions and Permits

DMF:ts



COUNTY OF LOS ANGELES  
THE REGIONAL PLANNING COMMISSION

320 WEST TEMPLE ST.  
LOS ANGELES, CALIFORNIA 90012



The Regional Planning Commission  
320 W. Temple St., 13th Floor  
Los Angeles 12, Calif.

Zone Exception Case No.  
9034-(4)  
Harbor Heights Zoned Dist.



NOTICE TO PROPERTY OWNERS  
WITHIN A 500-FOOT RADIUS  
THE REGIONAL PLANNING COMMISSION  
COUNTY OF LOS ANGELES  
150 HALL OF RECORDS  
320 W. TEMPLE ST.  
LOS ANGELES, CALIFORNIA 90012

ZONE EXCEPTION CASE NO. 9034-(4)

This is to inform you that a public hearing in the matter of a request for an exception to the C-1 (Restricted Business) Zone to permit additional signs, other than those permitted in Zone C-1, including wall placards having an area in excess of 300 square feet and five banner signs located on the southwest corner of Western Avenue and Park Western Drive in the Harbor Heights Zoned District, Los Angeles County, will be held before the Zoning Board, in the Regional Planning Commission hearing room, Room 150, Hall of Records, 320 West Temple Street, Los Angeles 90012, on Thursday, February 13, 1969, at 9:30 a.m., at which time proponents and opponents of the proposed use will be heard.

Owen H. Lewis, Chairman  
O. K. Christenson, Director of Planning





NOTICE TO PROPERTY OWNERS  
WITHIN A 500-FOOT RADIUS  
THE REGIONAL PLANNING COMMISSION  
COUNTY OF LOS ANGELES  
150 HALL OF RECORDS  
320 W. TEMPLE ST.  
LOS ANGELES, CALIFORNIA 90012

ZONE EXCEPTION CASE NO. 9034-(4)

This is to inform you that a public hearing in the matter of a request for an exception to the C-1 (Restricted Business) Zone to permit additional signs, other than those permitted in Zone C-1, including wall placards having an area in excess of 300 square feet and five banner signs located on the southwest corner of Western Avenue and Park Western Drive in the Harbor Heights Zoned District, Los Angeles County, will be held before the Zoning Board, in the Regional Planning Commission hearing room, Room 150, Hall of Records, 320 West Temple Street, Los Angeles 90012, on Thursday, February 13, 1969, at 9:30 a.m., at which time proponents and opponents of the proposed use will be heard.

Owen H. Lewis, Chairman  
O. K. Christenson, Director of Planning





NOTICE TO PROPERTY OWNERS  
WITHIN A 500-FOOT RADIUS  
THE REGIONAL PLANNING COMMISSION  
COUNTY OF LOS ANGELES  
150 HALL OF RECORDS  
320 W. TEMPLE ST.  
LOS ANGELES, CALIFORNIA 90012

ZONE EXCEPTION CASE NO. 9034-(4)

This is to inform you that a public hearing in the matter of a request for an exception to the C-1 (Restricted Business) Zone to permit additional signs, other than those permitted in Zone C-1, including wall placards having an area in excess of 300 square feet and five banner signs located on the southwest corner of Western Avenue and Park Western Drive in the Harbor Heights Zoned District, Los Angeles County, will be held before the Zoning Board, in the Regional Planning Commission hearing room, Room 150, Hall of Records, 320 West Temple Street, Los Angeles 90012, on Thursday, February 13, 1969, at 9:30 a.m., at which time proponents and opponents of the proposed use will be heard.

Owen H. Lewis, Chairman  
O. K. Christenson, Director of Planning



NOTICE TO PROPERTY OWNERS  
WITHIN A 500-FOOT RADIUS  
THE REGIONAL PLANNING COMMISSION  
COUNTY OF LOS ANGELES  
150 HALL OF RECORDS  
320 W. TEMPLE ST.  
LOS ANGELES, CALIFORNIA 90012

ZONE EXCEPTION CASE NO. 9034-(4)

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NEWSPAPER LEGAL NOTICE

ZONE EXCEPTION CASE NO. 9034-(4)

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Owen H. Lewis, Chairman  
O. K. Christenson, Director of Planning  
THE REGIONAL PLANNING COMMISSION  
County of Los Angeles

PUBLISH IN: San Pedro News-Pilot

ON: Friday, January 24, 1969



HARBOR HEIGHTS COURTESY LIST

City Planning Department  
411 Neptune Avenue  
Wilmington, California

City of Rolling Hills Estates  
P. O. Box 921  
Rolling Hills, California

Harbor City Chamber of Commerce  
25841 Belle Porte  
Harbor City, California

Mr. Joseph P. Leach  
City Administrator  
26940 Rolling Hills Road  
Rolling Hills Estates,  
California 90247

League of Women Voters of Palos  
Verdes Peninsula  
P. O. Box L  
Palos Verdes Peninsula, Calif.

Palos Verdes Newspapers  
Box 877  
Palos Verdes Estates, California

Palos Verdes Peninsula Advisory  
Council  
28515 Golden Meadow Drive  
Palos Verdes Peninsula, Calif.

Rolling Hills Riviera Homeowners'  
Association, Inc.  
P. O. Box 462  
Harbor City, California

Palos Verdes Peninsula News  
P. O. Box 2400  
Palos Verdes Peninsula, Calif.

Mr. G. B. Snelgrove, Secy.  
Palos Verdes Home Association  
P. O. Box 188  
Palos Verdes Estates, California

Mr. Paul Rosenfeld, President  
Rolling Hills Riviera Home  
Owners' Association  
1904 Glaerita Drive  
San Pedro, California

Mr. Volney L. Willett  
Palos Verdes Realty Company  
2201 Palos Verdes Drive West  
Palos Verdes Estates, California

Ed A. Orzechowski, Zoning  
Palo de Encino Homeowners Assn.  
1815 Toscanini Drive  
San Pedro, California 90732

H. Ed Burke, Director  
Palo de Encino Homeowners Assn.  
2113 Toscanini Drive  
San Pedro, California 90732

Clarence G. Casper, President  
Palo de Encino Homeowners Assn.  
2148 Rocking Horse Road  
San Pedro, California 90732

Also Notify:

Art Hasegawa

The Roman Catholic Archbishop  
of L.A., a corporation sole  
1531 West Ninth Street  
Los Angeles, California 90015

City Board of Education  
Attn: Director of  
Real Estate Management  
1425 S. San Pedro (Rm. 101)  
Los Angeles, Calif. 90014

L.A. CHAMBER OF COMMERCE  
Attn: Manager  
Industrial Marketing Dept.  
Post Office Box 3639  
Los Angeles, California 90054



CERTIFIED PROPERTY OWNERS' LIST

AFFIDAVIT

STATE OF CALIFORNIA )

ss.

COUNTY OF LOS ANGELES)

I, Edward J. Tice, hereby certify that  
the attached list contains the names and addresses of all  
persons to whom all property is assessed as they appear  
on the latest available assessment roll of the County  
within the area described and for a distance of five hundred  
(500) feet from the exterior boundaries of property legally  
described as:

Coverage-1962  
or  
Land Title Association  
Coverage Policy-1963

SCHEDULE C

The land referred to in this policy is situated in the county of Los Angeles, state of California,  
and is described as follows:

That portion of lot 3 of Tract No. 2074, in the County of Los  
Angeles, state of California, as per map recorded in book 22 page  
9 of Maps, in the office of the County Recorder of said county,  
described as follows:

Beginning at a point in the easterly line of Tract No. 16726, as  
per map recorded in book 429 pages 12 to 20 inclusive of Maps,  
records of said county, distant thereon North 6° 10' 35" East  
450.00 feet from the northerly line of Crestwood Street, 60 feet  
wide as shown on the map of said Tract No. 16726; thence along the  
said easterly line North 6° 10' 35" East 180.50 feet to the north-  
east corner of lot 59 of said Tract No. 16726; thence along the  
prolongation of the northerly line of said Tract No. 16726, South  
89° 57' 33" East 153.97 feet to the westerly line of Western  
Avenue 100 feet wide as shown on the said map of Tract No. 16726;  
thence along the said westerly line South 6° 10' 35" West to a point  
thereon South 83° 49' 25" East from the point of beginning; thence  
North 83° 49' 25" West 155 feet, more or less, to the point of begin-  
ning.

NOTARY PUBLIC



13316 E. Bailey St., Whittier, Calif. 90601

A-134 1/63

9034



Date

Dec 3 1968

(Signed)

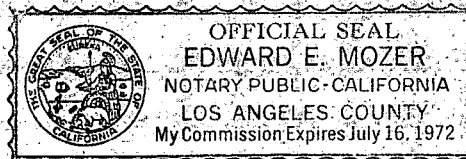
Edward E. Mozer

Subscribed and sworn to before me this 3<sup>rd</sup> day of

DECEMBER

19 68

Edward E. Mozer  
Notary Public



13316 E. Bailey St., Whittier, Calif. 90601

A-134 1/63

9034



L. D. Amon 1866 Homeworth Dr. San Pedro, Calif.	1	D. R. Waterman 1862 Homeworth Dr. San Pedro, Calif.	2	S. M. Szymanolki 1854 Homeworth Dr. San Pedro, Calif.	3
Clifford A. Dudley 1852 Homeworth Dr. San Pedro, Calif.	4	C. J. Constantino 1851 Homeworth Dr. San Pedro, Calif.	5	C. E. Brock 1855 Homeworth Dr. San Pedro, Calif.	6
L. R. Lovinger 1861 Homeworth Dr. San Pedro, Calif.	7	W. L. Wollo 1858 Trudie Dr. San Pedro, Calif.	8	E. C. Davis 1852 Trudie Dr. San Pedro, Calif.	9
R. C. Wilson 1846 Trudie Dr. San San Pedro, Calif.	10	R. W. Higgins 1836 Trudie Dr. San Pedro, Calif.	11	W. and A. Grantein 92 King Court El Mont, New York	12
R. F. Thornburg 29119 Highmore Ave San Pedro, Calif.	13	S. Leyba 29125 Highmore Ave San Pedro, Calif.	14	M. Capalia 29133 Highmore Ave San Pedro, Calif.	15
F. S. Dranner 670 W. 39th Street San Pedro, Calif.	16	M. R. Schwartz 29131 Highmore Ave San Pedro, Calif.	17	G. T. Graen 29128 Highmore Ave San Pedro, Calif.	18
G. Brown 29124 Highmore Ave San Pedro, Calif.	19	H. Grannis 403 W. 6th Street San Pedro, Calif.	20	D. E. Hrichert 29112 Highmore Ave San Pedro, Calif.	21
R. A. Marcuson 29108 Highmore Ave. San Pedro, Calif.	22	H. Grenko et al 749 Legary Place San Pedro, Calif.	23	Shinn Wurzbarger Bldg. Corp 29105 S. Western Ave. San Pedro, Calif.	24
San Pedro Beach Properties 500 Dyer Road Santa Ana, Calif.	25	S. P. D. P. 1701 Miracosta Street San Pedro, Calif.	26	Std. Oil Co. of Calif. 225 Bush Street San Francisco 20, Calif.	27
A. B. Addison 29302 Highmore Ave San Pedro, Calif.	28	L. J. Resbottene 29306 Highmore Ave. San Pedro, Calif.	29	A. Hordesich 29312 Highmore Ave. San Pedro, Calif.	30

S. Prager 29318 Highmore Ave. San Pedro, Calif.	31	B. Mitchell 1843 MacArthur St. San Pedro, Calif.	32	E. Hargett 716 Ellery St. San Pedro, Calif.	33
E. R. Hargett 1829 MacArthur St San Pedro, Calif.	34	H. W. Kerpel 1159 W. 3rd St. San Pedro, Calif.	35	B. T. Keeney et al 27401 So. Western Ave San Pedro, Calif.	36
A. R. Smith 14356 Calvert St Van Nuys, Calif.	37	Gulf Oil Corp. P. O. Box 54034 Los Angeles, Calif. 90054	38	L. H. Goble 1828 MacArthur St. San Pedro, Calif.	39
D. W. Patrick 1836 MacArthur St. San Pedro, Calif.	40	R. E. Holland, Jr 1846 MacArthur St. San Pedro, Calif.	41	R. W. Peck 1860 MacArthur St. San Pedro, Calif.	42
F. J. Laff 3663 Almaria San Pedro, Calif.	43	A. E. Gray 306 N. Troywood Ave San Pedro, Calif.	44	A. B. Szule 1904 MacArthur St. San Pedro, Calif.	45
J. A. Jones 1921 Upland St. San Pedro, Calif.	46	R. A. Cully 1911 Upland St San Pedro, Calif.	47	H. M. Buddy 1903 Upland St San Pedro, Calif.	48
J. E. Hawkins 1820 Crestwood St San Pedro, Calif.	49	A. G. Millett 1824 Crestwood St. San Pedro, Calif.	50	Union Investment Co. Beverly Dr & Santa Monica Blvd., Beverly Hills, Calif.	51
Chapman College P. O. Box 3008 Fullerton, Calif.	52	Stofac Inc., 275 Middlefield Road Menlo Park, Calif.	53	Teachers Ins. & Annuity Assoc. of America P. O. Box 2189 Palos Verdes Peninsula, Calif.	54
V. C. Spitsberg 1864 Trudie Dr. San Pedro, Calif.	55	Donald W. Neukirch 1870 Trudie Dr. San Pedro, Calif.	56	H. E. Schwegler 1730 Arch St. Berkeley, Calif.	57
T. G. Cerenzon 511 W. Rosecrans Ave. San Pedro, Calif.	58	J. W. Gray 1891 Mac Arthur St. San Pedro, Calif.	59	E. C. Gregg 1887 MacArthur St. San Pedro, Calif.	60

K. J. Miller  
1801 MacArthur St.  
San Pedro, Calif.

61

E. C. Alberto  
1875 MacArthur St.  
San Pedro, Calif.

62

C. C. Smith  
29311 Highmore St.  
San Pedro, Calif.

63

Max Glass  
2171 E. Florence Ave.  
Los Angeles, Calif. 90047

64

Kennedy Engr. Co. Inc.,  
P. O. Box 856  
Whittier, Calif. 90608

California Foam Products  
4320 Mission Gorge Dr.  
San Diego, Calif. 92101

Attn: Robert C. Harvey  
Food Moler Inc.,  
6252 Telegraph Road  
Los Angeles, Calif. 90022



9034

K. J. Miller  
1881 MacArthur St.  
San Pedro, Calif.

61

E. C. Alberts  
1875 MacArthur St.  
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Los Angeles, Calif. 90047

64

Kemmerer Engr. Co. Inc.,  
P. O. Box 856  
Whittier, Calif. 90608

California Neon Products  
4530 Mission Gorge Dr.  
San Diego, Calif. 92801

Attn: Robert C. Harvey  
Food Maker Inc.,  
6252 Telegraph Road  
Los Angeles, Calif. 90022



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F. J. Leif 3663 Almeria San Pedro, Calif.	43	A. E. Grey 306 N. Trotwood Ave San Pedro, Calif.	44	A. B. Szulc 1904 MacArthur St. San Pedro, Calif.	45
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V. C. Spitsberg 1864 Trudie Dr. San Pedro, Calif.	55	Donald W. Newkirk 1870 Trudie Dr. San Pedro, Calif.	56	M. E. Schwegler 1730 Arch St. Berkeley, Calif.	57
T. G. Corcaran 511 W. Rosecrans Ave. San Pedro, Calif.	58	J. W. Gray 1891 Mac Arthur St. San Pedro, Calif.	59	R. C. Gregg 1887 MacArthur St. San Pedro, Calif.	60



OWNER'S AFFIDAVIT

COUNTY OF LOS ANGELES }  
STATE OF CALIFORNIA } ss.

I, (We), FOODMAKER, INC. being duly sworn depose and say that I/(We)  
~~Am~~ (are) the owner(s) of property involved in this request and that the foregoing statements and  
answers herein contained and the information herewith submitted are in all respects true and cor-  
rect to the best of my knowledge and belief.

FOODMAKER, INC.  
Signed By: [Signature] Vice Pres.  
By: [Signature] Asst. Secy.  
P. O. Box 1783  
(Mailing Address)

Phone No. 714/279-1300

San Diego CA 92112  
City State

Subscribed and sworn to before me this 13th day of December, 19 68

[Signature]  
Notary Public  
My Commission Expires May 11, 1969



Petitioner not to write in this space

Filed January 2, 19 68  
Fee \$ 247. —  
Receipt No. 639438  
By [Signature]  
The Regional Planning Commission

FORMS ISSUED TO:

NAME \_\_\_\_\_  
ORGANIZATION \_\_\_\_\_  
JOB ADDRESS \_\_\_\_\_  
H.N.M. \_\_\_\_\_



We, the undersigned owners of property adjacent to the property legally described in this REQUEST FOR HEARING, hereby certify that we do not object to the proposal.

[illegible]



## SCHEDULE C

The land referred to in this policy is situated in the county of Los Angeles, state of California, and is described as follows:

That portion of lot 3 of Tract No. 2074, in the County of Los Angeles, state of California, as per map recorded in book 22 page 9 of Maps, in the office of the County Recorder of said county, described as follows:

Beginning at a point in the easterly line of Tract No. 16726, as per map recorded in book 429 pages 12 to 20 inclusive of Maps, records of said county, distant thereon North 6° 10' 35" East 450.00 feet from the northerly line of Crestwood Street, 60 feet wide as shown on the map of said Tract No. 16726; thence along the said easterly line North 6° 10' 35" East 180.50 feet to the north east corner of lot 59 of said Tract No. 16726; thence along the prolongation of the northerly line of said Tract No. 16726, South 89° 57' 33" East 153.97 feet to the westerly line of Western Avenue 100 feet wide as shown on the said map of Tract No. 16726; thence along the said westerly line South 6° 10' 35" West to a point thereon South 83° 49' 25" East from the point of beginning; thence North 83° 49' 25" West 155 feet, more or less, to the point of beginning.

9034



Western Ave  
05-02-0382

REGIONAL PLANNING COMMISSION  
COUNTY OF LOS ANGELES

REQUEST FOR HEARING

AS REQUIRED BY CHAPTER SIX OF THE ZONING ORDINANCE

(Ordinance No. 1494)

ZEC Case No. 9034

Name of Applicant ~~Foodmaker Co.~~ FOODMAKER, INC.  
(Person, Firm or Corporation)

Address of Applicant 9330 Balboa Ave., San Diego, Calif. 92120  
(Street, City, Zone, State)

Phone No. of Applicant (213) 589-5674

Signature *Edward J. Hill*  
(Applicant or Representative of Firm or Corporation)

Use Applied for Additional signs, other than those permitted in Zone  
Describe in detail the nature of the business, occupation or purpose for which the building,

C-1, including but not limited to wall placards having an area in  
structure, improvement or premises are to be used and what is to be done on or with the property in the way of  
excess of 300 square feet attached to the building, and banner  
additional improvements.  
signs, five in number, all as set forth on the plot plan attached  
hereto and hereby made a part of this application. It is your  
applicants' intention to have approved the signs for the typical  
structures set forth on the plot plans.

Legal Description of Property See attached  
(Legal description from deed)

Situated at the West side of Western Avenue, South of its intersection  
(Street address or distance from nearest cross street)  
with Park Western Drive,  
between Park Western Drive and Crestwood Street  
(Street) (Street)  
in Zone C-1, District Harbor Heights  
(Land use, not postal zone) Palos Verdes

A plot plan and pictures of this property are hereto attached and made a part of this request.  
(Pictures optional)



This property { is being  
has been } purchased from:

Name: Purchase completed, building under construction.

Address:

(Residential or Commercial only)

Deed restrictions affecting the use thereof will expire on , 19.

The answers to the following must be made complete and full in exception cases. Part I below is not required in other than exceptions.

A hearing is being requested to determine the land use property right of the applicant since:

I. A SUBSTANTIAL PROPERTY RIGHT IS NOT BEING ENJOYED BECAUSE:

(State why the

The subject property is on the Los Angeles County side of the common boundary between the City of Los Angeles and County of Los Angeles. Properties on the East side of Western Avenue, lying within the Park Plaza Shopping Center, in the City of Los Angeles, because of the nature of sign limitations within the City of Los Angeles Municipal Code, are considerably less restricted than those subject to the C-1 sign limitations within Ordinance 1494. The detailed analysis of the Park Plaza Shopping Center indicates that there is an approximate 300 square foot plus area of signs per use within the shopping area; including those signs located on the structure as a part of the individual store uses. The subject Jack-In-The-Box location is immediately North of an International Pancake House location which use, as developed, constitutes a sign and the identification normal to the Pancake House locations throughout the Los Angeles metropolitan area. The purpose of this application is to seek approval of the development as a unit in order that the identification will be similar to the many other areas developed by your applicants. Your applicants are of the opinion that to not permit the installation as set forth on the plot plan, would place them in an unfair competitive position with the adjacent and surrounding uses and would, in fact, deprive them of a substantial right presently being enjoyed by other users in this area. Above, this commercial center is oriented to the needs of the surrounding residential community. There are changes, the area to the West being considerably higher, and the residential areas to the East being considerably lower in elevation that precludes any material detriment to surrounding uses by virtue of the signs proposed under this application. It is your petitioners' opinion that the use as proposed will not be detrimental to the public welfare nor to the property of other businesses located in this vicinity. Additional factual testimony will be presented at the time of your public hearing further substantiating this application.

9034

Water Certificate requested None



Please sign this form and return to: The Regional Planning Commission, 320 West Temple St., Los Angeles, Calif. 90012

ACCEPTANCE FORM

STATE OF CALIFORNIA )  
COUNTY OF LOS ANGELES ) SS

ZONE EXCEPTION CASE NO. 9034-(4)

I, the undersigned, state:

I am ~~We are~~ the ~~owner or the~~ duly authorized representative of the owner of the real property described in the above-numbered zone exception case.

I am ~~We are~~ aware of, and accept, all of the stated conditions in said

Zone Exception Case No. 9034-(4).

Executed this 8<sup>th</sup> day of April, 1969.

I ~~We~~ certify (or declare) under the penalty of perjury that the foregoing is true and correct.

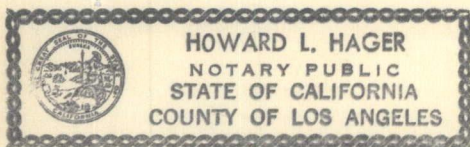
Edward J. Hill.

*Letter & plan to B&S  
no copy for applicant  
4/11/69  
CDE*



STATE OF CALIFORNIA,

COUNTY OF LOS ANGELES



My Commission Expires July. 5, 1971

} ss.

ON April 8, 1969,  
before me, the undersigned, a Notary Public in and for said State, personally appeared  
Edward J. Till

\_\_\_\_\_, known to me to be the  
person whose name is subscribed to the within Instrument,  
and acknowledged to me that he executed the same.

WITNESS my hand and official seal.

*Howard L. Hager*

NAME (TYPED OR PRINTED)  
Notary Public in and for said State.

ZONE EXCEPTION CASE NO. 9034-(4)

CONDITIONS

1. This exception shall not be effective for any purpose until the owner of the property involved, or his duly authorized representative, has filed at the office of said Regional Planning Commission his affidavit stating that he is aware of, and accepts, all the conditions of this exception;
2. It is hereby declared to be the intent that if any provision of this exception is held or declared to be invalid, the exception shall be void and the privileges granted hereunder shall lapse;
3. It is further declared and made a condition of this exception that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the exception shall be suspended and the privileges granted hereunder shall lapse; provided that the applicant has been given written notice to cease such violation and has failed to do so for a period of thirty (30) days;
4. That the property be developed substantially as shown on revised plot plans marked Exhibit "A" dated March 3, 1969;
5. That all signs be lighted either indirectly or internally;
6. That no flashing or pulsating signs shall be allowed;
7. That exterior walls above the eave line of the main structure be painted and maintained in a single color, as indicated on the plot plan.

RS:dak

March 19, 1969





KEMMERER ENGINEERING CO., INC. / 6705 S. PAINTER AVE. / WHITTIER, CALIF. 90608 • PHONE (213) 698-0791

Z.E.C. 9034-4

2/13/69.

①







KEMMERER ENGINEERING CO., INC. / 6705 S. PAINTER AVE. / WHITTIER, CALIF. 90608 • PHONE (213) 698-0791



Z.E.C.9034 -4  
2/13/69.

②







KEMMERER ENGINEERING CO., INC. / 6705 S. PAINTER AVE. / WHITTIER, CALIF. 90608 • PHONE (213) 698-0791

Z.E.C. 9034-4  
2/13/69

③





# ZONE EXCEPTION

CASE NO. 9034 - (4)

JOB NO. 909034

H.N. MAP 767 ZONE C-1

THOMAS GUIDE PAGE 78-EC HEARING TAPE FOOTAGE 247'

ZONE DISTRICT HARBOR HEIGHTS Z.D.

## COMPLETION DATES OF PROGRESSIVE PREPARATION

Date Filed JAN 2 1968<sup>9</sup> Posted on Fly Sheets 1-6-69  
 Plot Plans JAN 2 1968<sup>9</sup> Ownership List JAN 2 1968<sup>9</sup>  
 Land Use Map JAN 2 1968<sup>9</sup> Field Inspection 1-14-69  
 Other Cases on Property NONE  
 Legal Adv. January 24 Notices Mailed January 24 Number 67+18+11

82  
3 returned

## ACTIONS

	DATE	DECISION
Zoning Board	<u>2-13-69</u>	<u>U/S</u>
" "	<u>3/12/69</u>	<u>APPROVED</u>
" "		
" "		
Regional Planning Commission	<u>3/25/69</u>	<u>APPROVED</u>
" " "		
" " "		
" " "		
" " " T.E.		<u>TO</u>
Board of Supervisors		
" " "		
Zoning Board Members Ch. <u>LEWIS, KANASTER, IRVINE</u>		<u>C.C. HUDGENS</u>

Date Letter Mailed 4-7-69 ml Date Aff. Rcvd. 4/11/69

Letter To Bldg. & Safety 4/11/69



Case No. 9034 - (4)

A PUBLIC HEARING in the matter of a request for an exception to C-1 / RESTRICTED

BUSINESS) ZONE TO PERMIT ADDITIONAL SIGNS, OTHER THAN  
THOSE PERMITTED IN ZONE C-1, INCLUDING WALL PLACARDS  
HAVING AN AREA IN EXCESS OF 300 SQ. FT. AND <sup>FIVE</sup> BANNER  
SIGNS LOCATED ON THE SOUTHWEST CORNER OF WESTERN AVE.  
AND PARK WESTERN DR. IN THE HARBOR HEIGHTS Z.D.

\_\_\_\_\_, Los Angeles County, will be held before the Zoning Board, in The Regional Planning Commission hearing room, on THURS, FEB. 13, 1969 at 9:30 a. m. at which time proponents and opponents of proposed use will be heard.

Director of Planning  
THE REGIONAL PLANNING COMMISSION  
County of Los Angeles

Publish in SAN PEDRO NEWS - PILOT on FRI, JAN 24, 1969

Appl. Confirms Notification \_\_\_\_\_

Sects. 1494 Involved: \_\_\_\_\_

## APPLICANTS

A	
B	
C	
D	
E	
F	
G	
H	
I	
J	

## PROTESTANTS

1
2
3
4
5
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7
8
9
10

[illegible]





CITY OF RANCHO PALOS VERDES  
**PLANNING CLEARANCE**

Planning, Building and Code Enforcement Department  
Planning Division  
30940 Hawthorne Blvd.  
Rancho Palos Verdes, CA 90275  
(310) 544-5228 FAX: (310) 544-5293 E-mail: planning@rpv.com

PERMIT NO.: ZON2008-00196  
APPLIED: 4/9/2008  
ISSUED: 4/9/2008  
EXPIRES: 10/6/2008

**SITE ADDRESS: 29317 WESTERN AVE**

**ASSESSOR'S PARCEL NO.: 7557031012**

**PROJECT DESCRIPTION:** Two new additions totaling 180 SF to the side and front of an existing commercial building.

OWNER/APPLICANT

CHECKERBOARD PROPERTIES, INC  
PO BOX 783  
SAN DIEGO CA 92112

PRIMARY CONTACT

DAVID FRINK  
3549 CAMINO DEL RIO S.  
SAN DIEGO CA 92108

**TYPE OF USE:** Commercial, Addition/Remodel

**ZONING:** CG-Comm'l General

**APPLICATION TYPE(S):** Site Plan Review

**FEES**

Type	By	Date	Amount
DATA	RC	4/9/2008	\$3.96
SPRM	RC	4/9/2008	\$157.00
HIST	RC	4/9/2008	\$17.16
Total:			\$178.12

**NOTES:**


CONDITIONS OF APPROVAL

This approval is for two new additions totaling 180 SF to the front and side of an existing commercial building.

Unless modified in the future by another discretionary City approval, the approved project shall maintain the following minimum setbacks:

20' front yard  
20' rear yard  
10' side yard

The height of the approved project shall be as depicted on the stamped approved plans, and in no case shall the maximum height of any new construction exceed the existing ridgeline of the building (proposed at 21'-2").

No grading is permitted by this approval.

Construction of the approved project shall substantially comply with the plans originally stamped APPROVED on April 9, 2008 and with the CG district and site development standards of the Rancho Palos Verdes Development Code.



CITY OF RANCHO PALOS VERDES  
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(310) 544-5228 FAX: (310) 544-5293 E-mail: [planning@rpv.com](mailto:planning@rpv.com)

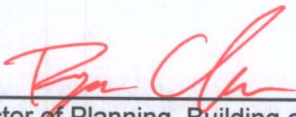
PERMIT NO.: ZON2008-00196  
APPLIED: 4/9/2008  
ISSUED: 4/9/2008  
EXPIRES: 10/6/2008

In the event that a Planning Division and a Building Division requirement are in conflict, the stricter standard shall apply.

The construction site and adjacent public and private properties and streets shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may include, but not be limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete asphalt, piles of earth, salvage materials, abandoned or discarded furniture, appliances or other household fixtures.

Permitted hours and days for construction activity are 7:00 AM to 7:00 PM, Monday through Saturday, with no construction activity permitted on Sundays or on the legal holidays specified in Section 17.96.920 of the Rancho Palos Verdes Development Code. Trucks and other construction vehicles shall not park, queue and/or idle at the project site or in the adjoining public rights-of-way before 7:00 AM, Monday through Saturday, in accordance with the permitted hours of construction stated above.

The City strongly urges the applicant for this project to contact the Homeowners' Association or local Art Jury, if any, to gain any additional approvals that may be required before applying for a building permit. A list of Homeowners' Associations is on file with the Planning, Building and Code Enforcement Department of Rancho Palos Verdes.

  
\_\_\_\_\_  
For Director of Planning, Building and Code Enforcement

  
\_\_\_\_\_  
Date

THIS APPROVAL SHALL BE NULL AND VOID AFTER October 6, 2008 UNLESS THE APPROVED PLANS ARE SUBMITTED TO BUILDING AND SAFETY TO INITIATE THE "PLAN CHECK" REVIEW PROCESS. THIS APPROVAL SHALL ALSO BECOME NULL AND VOID IF AFTER INITIATING THE "PLAN CHECK" REVIEW PROCESS OR RECEIVING A BUILDING PERMIT TO BEGIN CONSTRUCTION, SAID PERMIT OR "PLAN CHECK" IS ALLOWED TO EXPIRE OR IS WITHDRAWN BY THE APPLICANT.



GENERAL CONDITIONS

GENERAL CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALLS, ETC., AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.

GENERAL NOTES

- 1. ALL SITE CONCRETE PAVING (IF ANY NEW) SHALL BE SPRAYED WITH A CURING COMPOUND AS SOON AS CONCRETE IS SET UP.

BUILDING DATA

JACK IN THE BOX # 382  
LOCATION: RANCHO PALOS VERDES, CA 90275  
BUILDING SQUARE FOOTAGE: 2,250 SQ. FT.  
SITE AREA: 29,268 SQ. FT.  
ZONING: CG

LEGAL DESCRIPTION:

THAT PORTION OF LOT 3 OF TRACT No. 2074, IN COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 22, PAGE 9 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS;

BEGINNING AT A POINT IN THE EASTERLY LINE OF TRACT No. 16726, AS PER MAP RECORDED IN BOOK 429, PAGES 12 TO 20 INCLUSIVE OF MAPS, RECORDS OF SAID COUNTY, DISTANT THEREON NORTH 6 10' 35" EAST 450.00 FEET FROM THE NORTHERLY LINE OF CRESTWOOD STREET, 60 FEET WIDE AS SHOWN ON THE MAP OF SAID TRACT No.16726; THENCE ALONG THE SAID EASTERLY LINE NORTH 6 10' 35" EAST 180.50 FEET TO THE NORTHEAST CORNER OF LOT 59 OF SAID TRACT 16726; THENCE ALONG THE PROLONGATION OF THE NORTHERLY LINE OF SAID TRACT No 16726, SOUTH 89 57' 33" EAST 153.97 FEET TO THE WESTERLY LINE WESTERN AVENUE 100 FEET WIDE AS SHOWN ON THE SAID MAP OF TRACT No 16726; THENCE ALONG THE SAID WESTERLY LINE SOUTH 6 10' 35" WEST TO A POINT THEREON SOUTH 83 49' 25" EAST FROM THE POINT OF BEGINNING, THENCE NORTH 83 49' 25" WEST 155 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

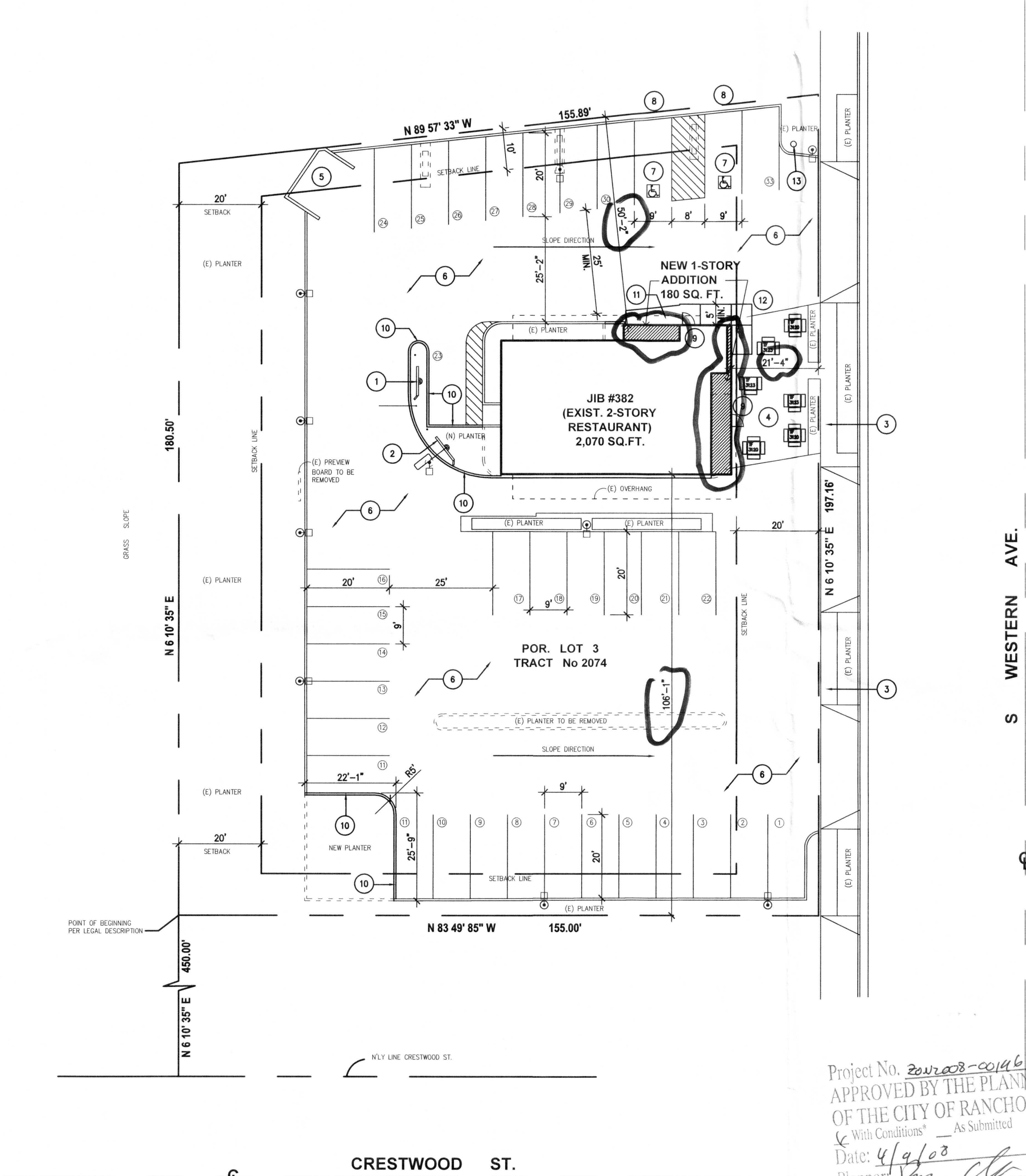
EXCEPTING ALL OIL, GAS MINERAL AND/OR OTHER HYDROCARBON SUBSTANCES IN AND UNDER SAID LAND, BELOW A DEPTH OF 500 FEET, BELOW THE SURFACE THEREOF BUT WITHOUT RIGHT OF ENTRY UPON THE SURFACE OF SAID LAND FOR THE PURPOSES OF EXTRACTING OR DEVELOPING SAME, AS RESERVED BY SECURITY ENTERPRISES CORPORATION AND MART J. GORDON AND SARAH GORDON, HIS WIFE, IN DEED RECORDED APRIL 25, 1960.

EXISTING BUILDING = 2,070 SQ. FT.  
EXISTING PARKING = 28  
EXISTING PKG RATIO = .013

PROPOSED NEW BUILDING = 2,250 SQ. FT.  
PROPOSED NEW PARKING = 33  
PROPOSED PKG RATIO = .014

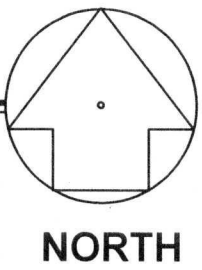
SITE PLAN NOTES

- 1 NEW PREVIEW MENU BOARD
- 2 NEW SPEAKER & MENU BOARD
- 3 EXISTING CONCRETE SIDEWALK.
- 4 NEW PATIO DINING
- 5 EXISTING TRASH ENCLOSURE, TO BE POWER WASHED, PREPPED AND PAINTED.
- 6 REMOVE EXISTING DAMAGED ASPHALT, INSTALL NEW ASPHALT AS REQUIRED, SEALCOAT REMAINING A.C. AND RESTRIPE PER CITY STANDARDS TYP.
- 7 NEW ACCESSIBLE PARKING STALL SYMBOL
- 8 NEW ACCESSIBLE PARKING SIGN,
- 9 NEW SYMBOL OF ACCESSIBILITY AT ENTRY DOOR,
- 10 NEW 6" CONCRETE CURB
- 11 NEW CONCRETE SIDEWALK - ROCK SALT FINISH
- 12 NEW CONCRETE RAMP
- 13 EXISTING POLE SIGN

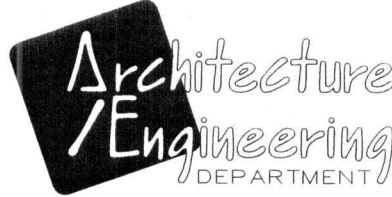


SITE PLAN

SCALE: 1"=20'



Project No. 201208-00146  
APPROVED BY THE PLANNING DIVISION  
OF THE CITY OF RANCHO PALOS VERDES  
With Conditions\* As Submitted  
Date: 4/9/08  
Planner: [Signature]  
It is unlawful to make any changes or alterations on this set of plans without written permission from the Planning Division.  
Approval is VOID after 180 days, unless otherwise specified in the conditions of approval.  
\*Not valid unless accompanied by a completed clearance form.



9330 BALBOA AVENUE  
SAN DIEGO, CA 92123

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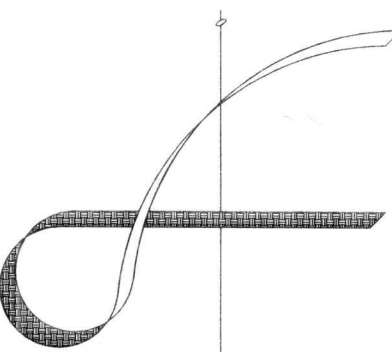
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dates

RELEASE: --  
P.M.(JIB ONLY): --  
PERMIT: --  
BID: --  
CONSTRUCTION: --

revisions

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△	
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△	
△	



Architect David Frink

3549 Camino Del Rio S.  
suite C  
San Diego, CA 92108  
Tel: 619-640-2400  
Fax: 866-535-7228

email: df@arcdf.com

site information

MK TYPE: 3AC40YP  
JIB #: 382  
ADDRESS:  
29317 S. WESTERN AVE.  
RNCHO P.V., CA 90275  
DRAWN BY:  
SCALE: AS NOTED

SITE PLAN

SD1.0



GENERAL NOTES

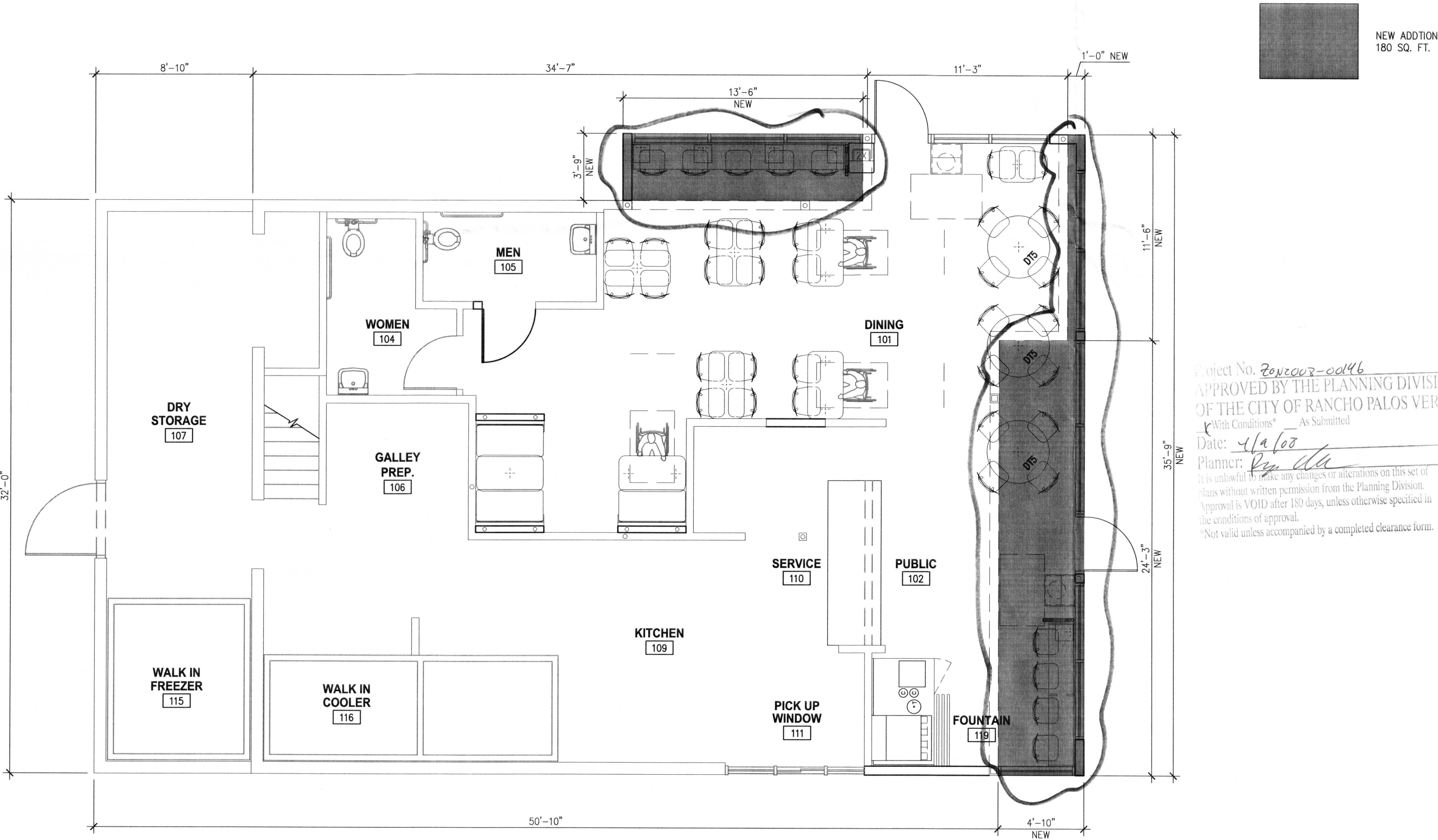
- 1. GENERAL CONTRACTOR TO INSTALL AIR TIGHT BARRIER BETWEEN WORK AREA AND FOOD AREAS.
- 2. GENERAL CONTRACTOR TO PROVIDE HEALTH DEPARTMENT APPROVED TEMPORARY RESTROOMS FOR USE BY JIB EMPLOYEES THROUGHOUT DURATION OF PROJECT.
- 3. ALL DEMOLITION WORK SHALL BE COORDINATED WITH THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO DETERMINE EXTENT OF SITE AND BUILDING DEMOLITION.
- 4. GENERAL CONTRACTOR TO PROTECT AND STORE ALL IDENTIFIED EXISTING ITEMS THAT ARE TO BE REUSED/RE-INSTALLED.
- 5. REFER TO INTERIOR DETAILS AND INTERIOR FINISH SCHEDULE FOR MORE INFORMATION.

LEGEND

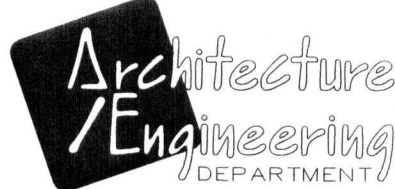
- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

FURNITURE PLAN NOTES

- 1. ALL DIMENSIONS ARE TO FACE OF FINISHED DRYWALL AND ARE CONSIDERED CRITICAL UNO. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH SHOP DRAWINGS AND PLANS AGAINST REQUIRED CLEARANCES.
- 2. REFER TO INTERIOR DETAILS AND FINISH SCHEDULE FOR MORE INFORMATION.
- 3. ALL TABLE TOPS SHALL BE ATTACHED TO BASE PER MANUFACTURER'S INSTRUCTIONS.
- 4. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES BEFORE ORDERING AND INSTALLING MATERIAL.
- 5. ALL EXPOSED FINISH CORNERS AND SEAMS REQUIRE CAULKING. IN ADDITION, BUT NOT LIMITED TO ALL FIXED EQUIPMENT, ALL AVONITE SEAMS, BACKSPLASH AT BAR TOP. ETC. DO NOT APPLY CAULKING TO ANY VMC SURFACE.
- 6. GENERAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL, MECHANICAL, AND PLUMBING WITH NEW INSTALLED EQUIPMENT.
- 7. FINAL SEATING LAYOUT SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (A.D.A.A.G.) AND ALL LOCAL CODES AND ORDINANCES.
- 8. SEE DETAIL SHEETS FOR BLOCKING AT COUNTER TOPS
- 9. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT OR THE USE OF A KEY. THE MAIN EXIT DOOR SHALL BE LABELED "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". PER 2006 IBC IF KEY-LOCKING HARDWARE IS USED.
- 10. POST OCCUPANCY LOAD SIGN (JIB#0148) IN CONSPICUOUS PLACE NEAR MAIN EXITS AT 6'-10" A.F.F. PER 2006 IBC SECTION 1004.3. PROVIDE TOP & BOTTOM AND CAULK AROUND ALL SIDES. SIGN TO READ: "MAXIMUM SEATING CAPACITY - 49 SEATS".
- 11. ALL FINISH SURFACES SHALL HAVE A FLAME SPREAD CLASSIFICATION OF CLASS III OR HIGHER (FLAME SPREAD INDEX 76 THROUGH 200 & A SMOKE DENSITY RATING OF 450).
- 12. ALL DRAPES, CURTAINS & DECORATIVE MATERIAL PROVIDED AND/OR INSTALLED BY THE GENERAL CONTRACTOR SHALL BE MADE FROM NONFLAMMABLE MATERIALS OR TREATED WITH FLAME RETARDANT AS APPROVED BY THE LOCAL FIRE MARSHAL.
- 13. ANY TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE FLOOR LEVEL. 2006 I.B.C.
- 14. PROVIDE EXIT SIGNS FOR EGRESS IDENTIFICATION PER 2006 I.B.C.
- 15. PROVIDE APPROVED EGRESS ILLUMINATION AND ILLUMINATED EXIT SIGNS PER 2006 I.B.C.



FLOOR PLAN



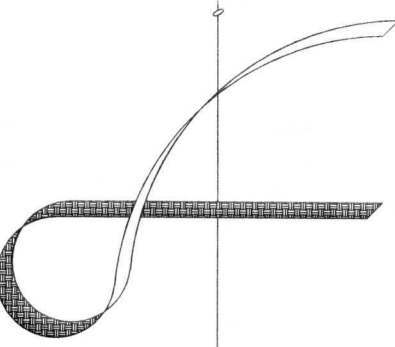
9330 BALBOA AVENUE  
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dates	
RELEASE:	—
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CONSTRUCTION:	—

revisions	
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Architect David Frink  
3549 Camino Del Rio S.  
suite C  
San Diego, CA 92108  
Tel: 619-640-2400  
Fax: 866-535-7228  
email: df@arcdf.com

site information	
MK TYPE:	3AC40YP
JIB #:	382
ADDRESS:	29317 S. WESTERN AVE.
	RNCHO P.V., CA 90275
DRAWN BY:	—
SCALE:	1/4" = 1'-0"

FLOOR PLAN & GENERAL NOTES

A1.0

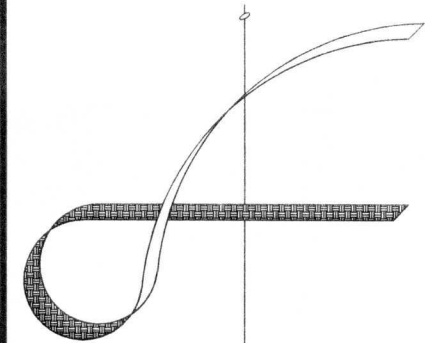


dates

RELEASE: \_\_\_\_\_  
P.M.(JIB ONLY): \_\_\_\_\_  
PERMIT: \_\_\_\_\_  
BID: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_

revisions

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Architect David Frink

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DRAWN BY:  
SCALE: AS NOTED

**EXTERIOR  
ELEVATIONS**

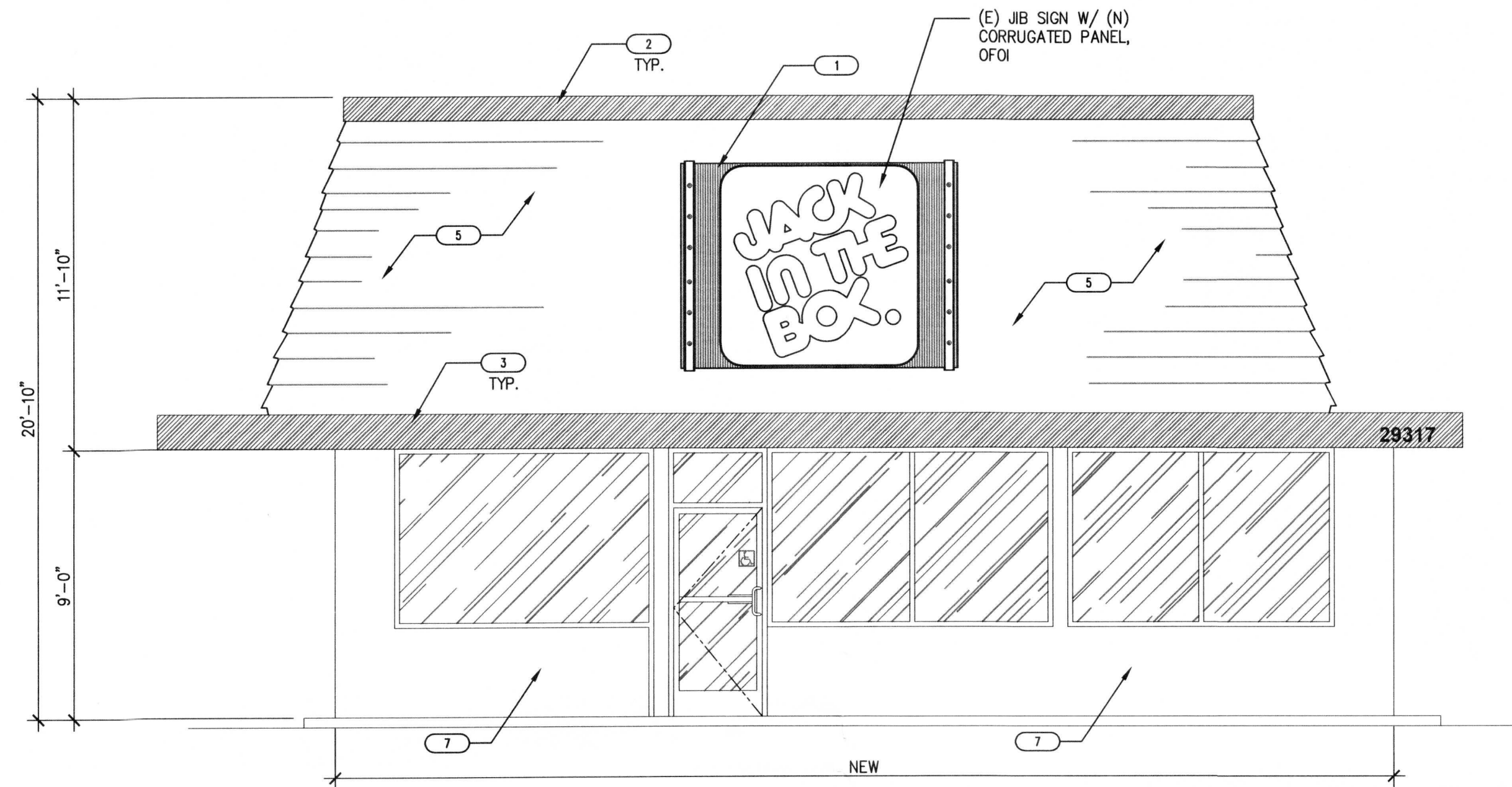
**A2.0**

**SCOPE OF WORK**

- 1 NEW DECORATIVE SURROUND FOR EXISTING SIGNAGE (O.F.O.I.)
- 2 PAINT EXISTING WHITE PARAPET CAPS SW6328 "FIREWEED". SEE SPECIFICATIONS FOR PREPARATION AND TYPE OF PAINT TO BE USED.
- 3 PAINT EXISTING WHITE AND RED STRIPED FACIA SW6328 "FIREWEED". SEE SPECIFICATIONS FOR PREPARATION AND TYPE OF PAINT TO BE USED.
- 4 PAINT EXISTING WHITE MASONRY AT DRIVE-THRU SW6328 "FIREWEED". SEE SPECIFICATIONS FOR PREPARATION AND TYPE OF PAINT TO BE USED.
- 5 PAINT EXISTING RED ROOF SW6990 "CAVARR" SEE SPECIFICATIONS FOR PREPARATION AND TYPE OF PAINT TO BE USED.
- 6 EXISTING BUILDING (WALLS, TRIM, HOLLOW MTL. DOORS/FRAMES & SOFFIT) TO BE PAINTED. COLOR: SHERWIN WILLIAMS SW7037 "BALANCED BEIGE" TYP. U.O.M.
- 7 NEW STUCCO TO MATCH EXISTING

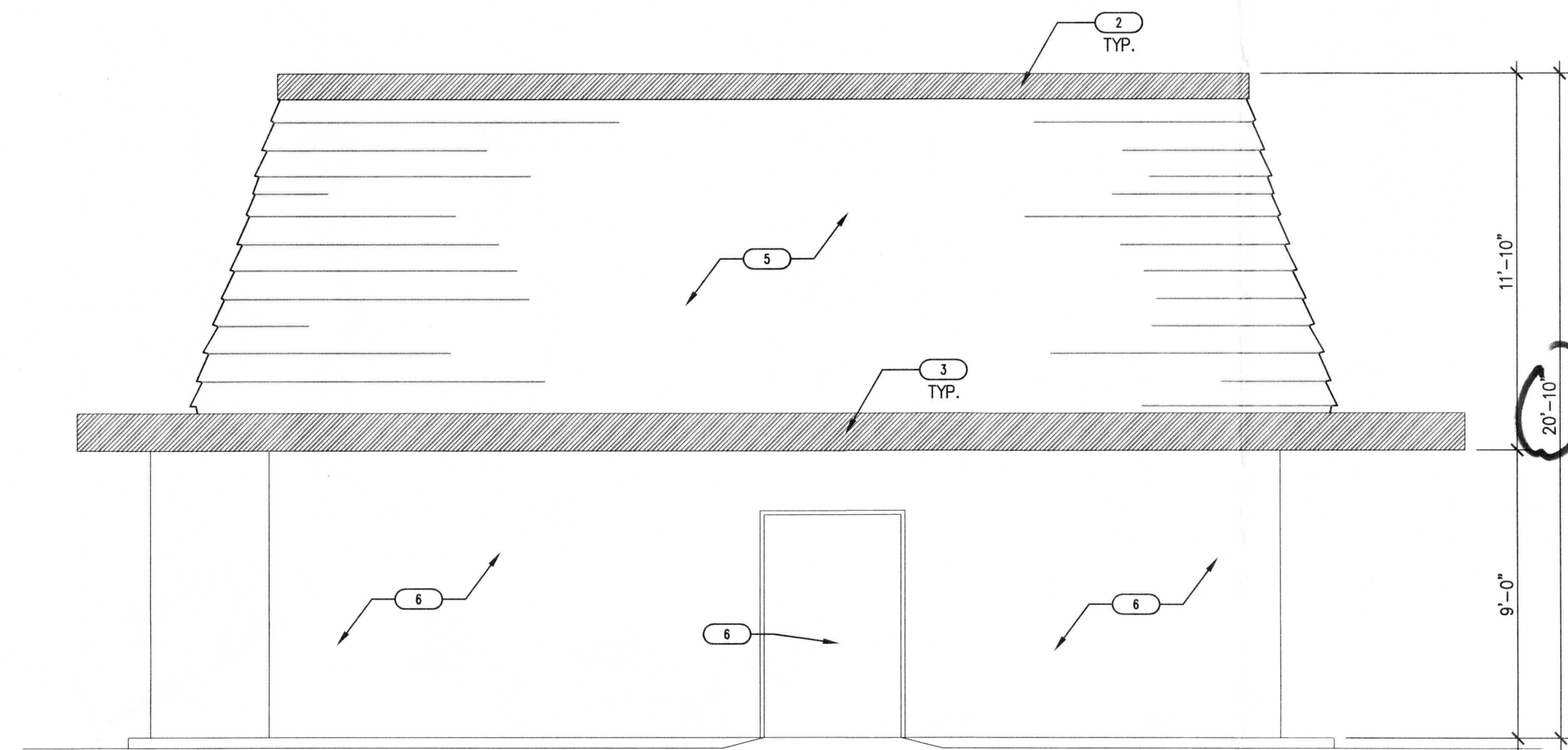
**NOTE:**

ALL NEW EXTERIOR SIGNS AND GRAPHICS UNDER SEPARATE DESIGN REVIEW TO BE SUBMITTED UNDER SEPARATE APPLICATION



**FRONT ELEVATION**

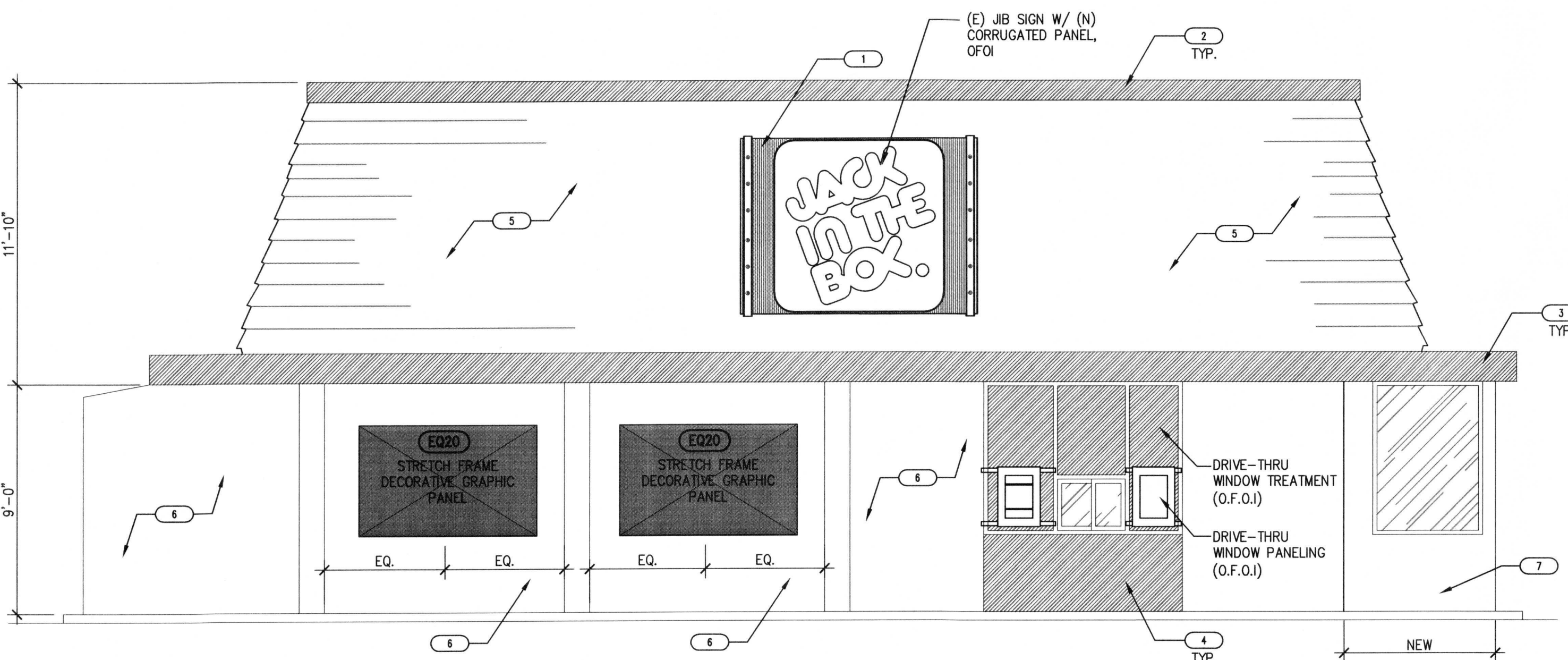
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**REAR ELEVATION**

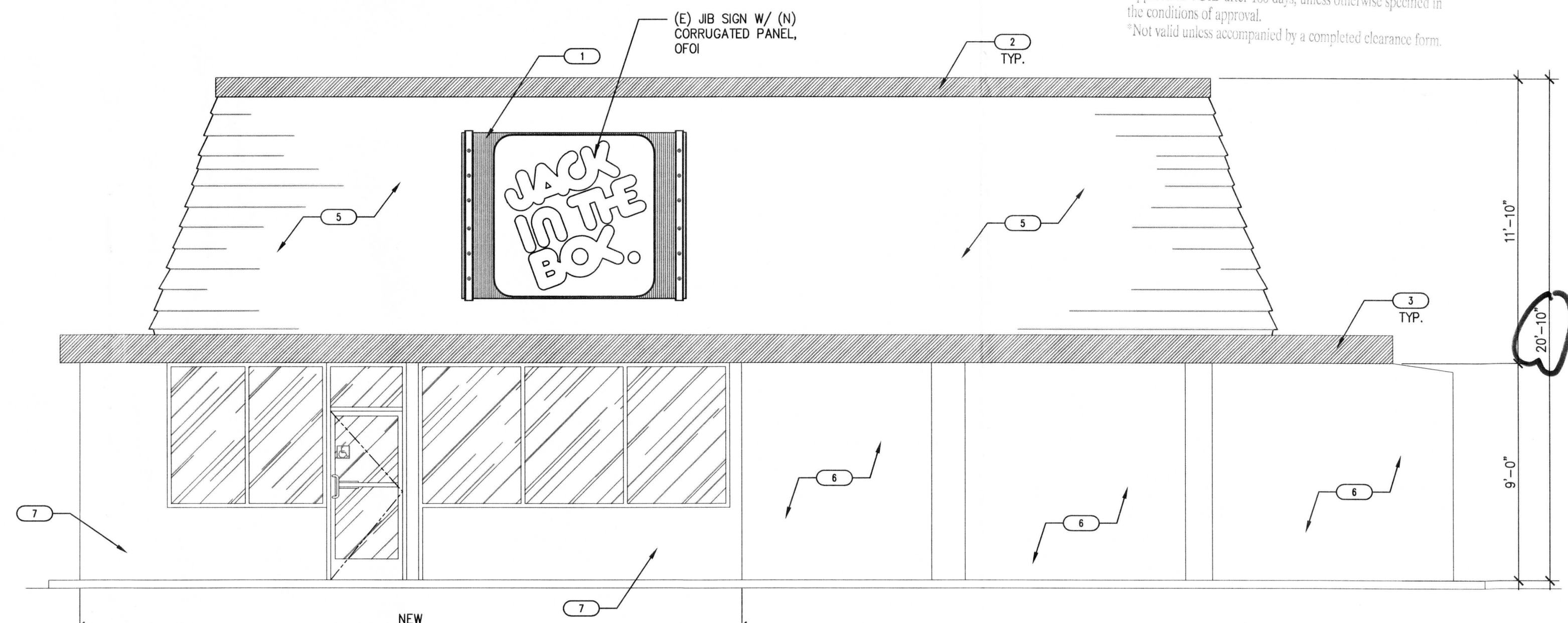
SCALE: 1/4" = 1'-0"

Project No. 2012008-00146  
APPROVED BY THE PLANNING DIVISION  
OF THE CITY OF RANCHO PALOS VERDES  
X With Conditions\* As Submitted  
Date: 4/9/08  
Planner: [Signature]  
It is unlawful to make any changes or alterations on this set of plans without written permission from the Planning Division. Approval is VOID after 180 days, unless otherwise specified in the conditions of approval.  
\*Not valid unless accompanied by a completed clearance form.



**LEFT SIDE ELEVATION**

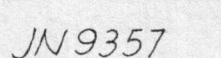
SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"







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california neon products



**PRODUCTS**  
4330 MISSION GORGE PLACE, SAN DIEGO, CALIFORNIA 92120  
TELEPHONE: (619) 283-2191

CONTENTS	REVISION	DATE

JOB TITLE	LOCATION	SALESMAN	DESIGNER	CLIENT	APPROVAL	ZONE
JACK IN THE BOX # 382	Rancho Palos Verdes	PM	DA			

DRAW. NO.	SHEET NO.	SCALE	REVISION NO.	DATE
P44021	1 of 1	AS NOTED		4-25-97

ALL STEEL ASTM A-36  
ALL PIPE ASTM A-53 (B)  
FAB. LIC. #652

23'-6"  
OR AS EXISTING

6'-0"  
SQUARE

6'-0"



EXISTING CABINET AND RETAINERS PAINT JITS RED

BACKGROUND: JITS RED  
COPY: WHITE WITH BLACK OUTLINE

EXISTING SUPPORT PAINT FM BLACK

Project No. SP 743

APPROVED BY THE PLANNING DIVISION OF THE CITY OF RANCHO PALOS VERDES

☐ With Conditions\* ☒ As Submitted

Date: 5/4/97

By: Frank FETW

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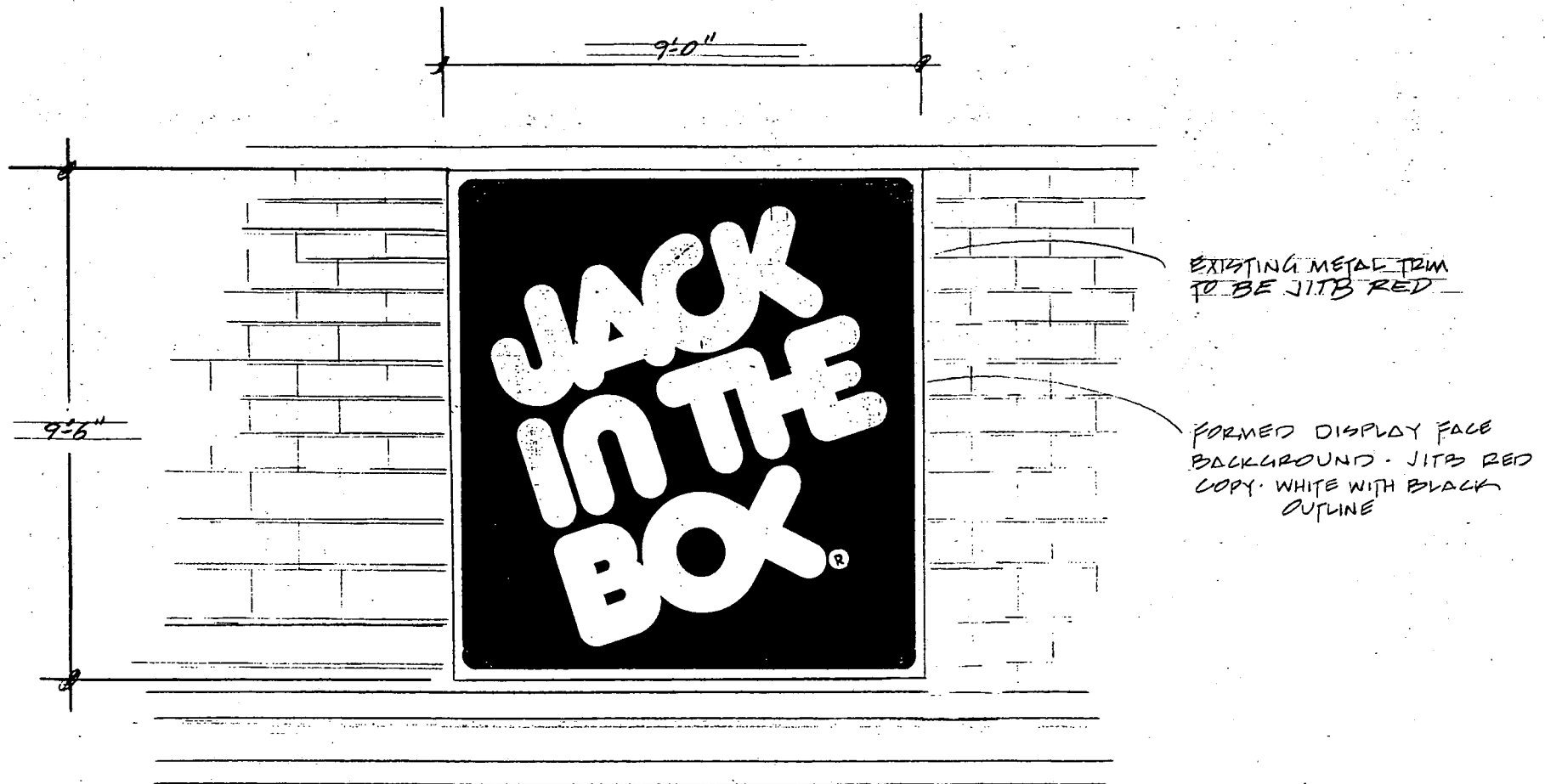
\*Not valid unless accompanied by a completed clearance form.



6'X6'X6 INT. ILLUM. PYLON DISPLAY (FACE REPLACEMENT)

SCALE: 1/2" = 1'-0"





SINGLE FACE INT. ILLUM. WALL SIGN

SCALE: 1/2" = 1'-0"

(FACE REPLACEMENT)

ALL STEEL ASTM A-36  
ALL PIPE ASTM A-53 (B)  
FAB. LIC. #652

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california neon products



**PRODUCTS**

4530 MISSION GORGE PLACE, SAN DIEGO, CALIFORNIA 92120  
TELEPHONE: (619) 283-2191

CONTENTS

REVISION

DATE

JOB TITLE

LOCATION

SALESMAN

DESIGNER

CLIENT APPROVAL

ZONE

J382

Rancho Palos Verdes

PMC

DD

DWG. NO. W94002

SHEET NO. 001

SCALE NOTED

REVISION NO.

DATE: 3-10-94



J #382  
Rancho Palos Verdes



## Site Plan Notes

- ① SELECTION DISPLAY.
- ② INTERCOM STATION (1A)
- ③ STANDARD POLE SIGN (CONDUIT AND WIRING BY ELEC. CONTR. SIGN INSTALLATION & HOOK-UP BY SIGN CONTR.)
- ④ 2" x 4" REDWOOD HEADER.
- ⑤ REFUSE CONTAINER, SEE DETAIL (S 1A)
- ⑥ LANDSCAPE LIGHTS. (SYMBOL □) (E 1A)
- ⑦ CONCRETE DRIVE AND CONCRETE CURB.
- ⑧ 6" CONCRETE CURB (K 1A) (T 1A)
- ⑨ EXISTING CONCRETE APPROACH TO REMAIN.
- ⑩ EXISTING CONCRETE APPROACH TO BE REMOVED.
- ⑪ NEW CONCRETE APPROACH.
- ⑫ EXISTING CONCRETE SIDEWALK.
- ⑬ NEW 4" CONCRETE SIDEWALK.
- ⑭ STERILIZE SOIL WITH WEED KILLER. D.G. SUB-BASE COMPACTED TO 4" MIN. ASPHALT PAVING COMPACTED TO 2" MIN. LIGHT FOG SEAL.
- ⑮ CENTERLINE OF 4" WIDE WHITE PAINTED LINES.
- ⑯ CENTERLINE OF 10" WIDE WHITE PAINTED LINES.
- ⑰ CENTERLINE OF TRAFFIC BUTTONS @ 24" O.C.
- ⑱ PAINTED ARROWS @ 30' O.C. MAX. WHITE.
- ⑲ TRAFFIC BUTTON ARROWS @ 44' O.C. MAX.
- ⑳ ALL CONCRETE WORK ON PUBLIC PROPERTY TO COMPLY WITH ALL LOCAL STANDARDS.
- ㉑ 6'0" LONG PRECAST CONC. WHEEL STOPS.

## General Conditions

GENERAL CONTRACTORS SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALLS, ETC. AS INDICATED ON DRAWINGS IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH OR HAZARD.

CONST TYPE: CONC. BLK. W/ WOOD FRAME

PROP. ZONE:

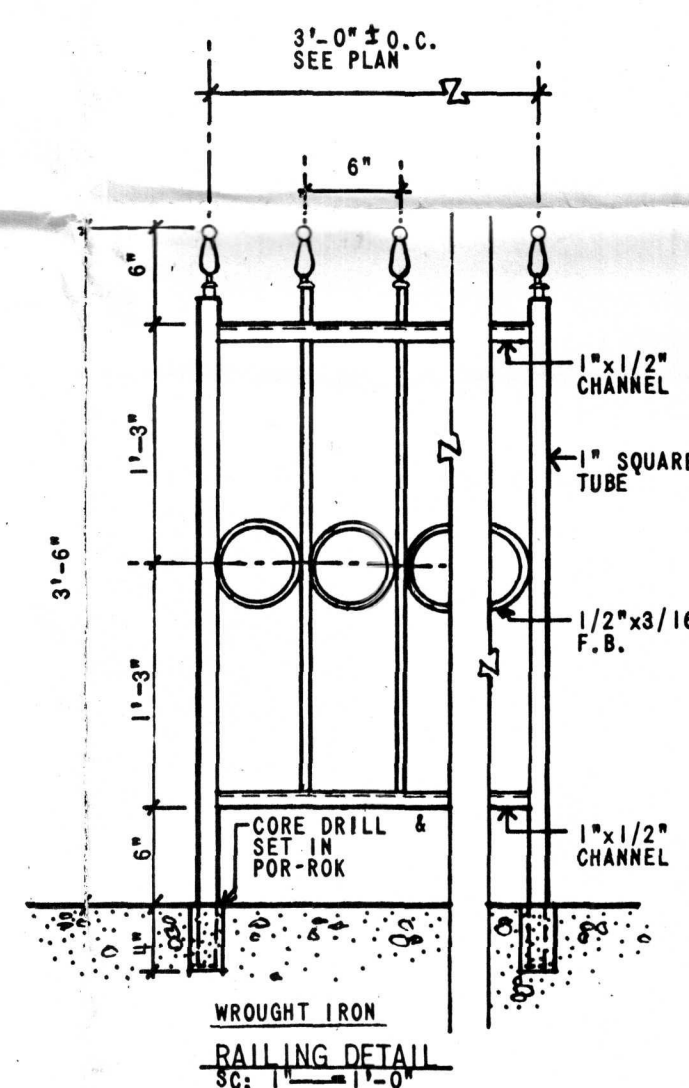
FIRE ZONE:

POR. LT. 3 TRACK NO. 2074

Legal CO. LOS ANGELES, CALIF.

Drawn AHP 2-20-76

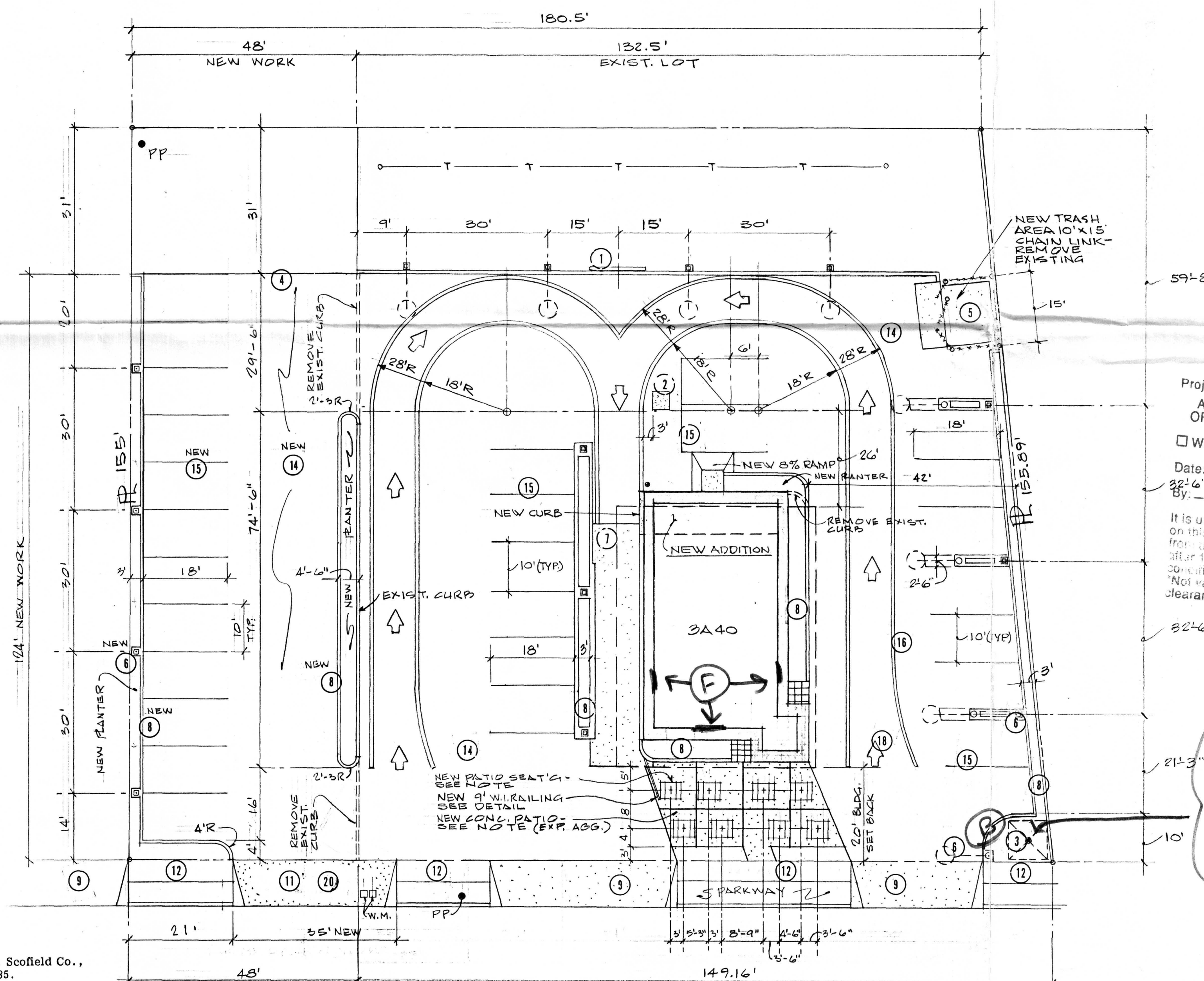
Revisions CHGD. TO 3A40LMZ BY DEVELOPED ADD'N PROPERTY, ES 4-20-76



## PATIO SEATING

Tables & Benches:  
"Buchbinder" SS-24  
White Tables  
Yellow Benches  
Tables, Benches  
Furnished by F.M.I. Installed  
by Contractor

Cast-In-Place Exposed-Aggregate Concrete  
Materials: Portland Cement - Type I, ASTM C-150  
Sand - fine aggregate, ASTM C-33, clean and hard.  
Water - Clear and free from deleterious matter.  
Exposed aggregate - coarse, ASTM C-33, 3/8" to 1/2" size.  
Surface retarder - lithochrome top surface grade mfg. by L.M. Scofield Co., 5311 E. Slauson Avenue, Los Angeles, California (213) 723-5285.  
Concrete - shall be ready-mixed and shall provide 28 day strength of 2000 p.s.i. (calcium chloride accelerants shall not be used).  
Placing: Tamping - held to minimum. Finish rough slab w/wood float. Immediately after floating, spray retarder (at full strength) evenly over surface (w/Hudson type sprayer). Use brush or roller application where spraying may damage adjacent surface. Remove retarder (8 to 20 hrs. after application) w/coarse-fibered scrub brush and jet of water. Cure slab w/non-staining curing paper.



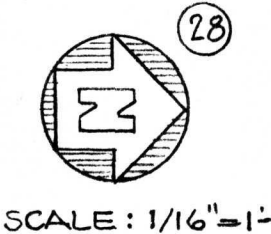
LEGEND	
AC	ASPHALT PAVING
AD	AREA DRAIN
BW	BENCH MARK
BW	BACK OF WALK
CB	CATCH BASIN
EP	EDGE OF PAVING
FF	FINISH FLOOR
FF	FIRE HYDRANT
FL	FLOW LINE
GR	GRADE (EARTH)
HW/HB	HOT WATER HOSE BIB
INV.	INVERT
JP	JOINT POLE (POWER + TELE.)
LS	LIGHT STANDARD
MD	MODULAR DIMENSION
MH	MAN HOLE
PL	PROPERTY LINE
PM	PARKING METER
PP	POWER POLE
R	RADIUS
SL	STREET LIGHT
SAN. SEW.	SANITARY SEWER
TS	TOP OF BASE
TC	TOP OF CURB
TP	TELEPHONE POLE
TS	TOP OF SLAB
TW	TOP OF WALL
WM	WATER METER
NEW	NEW
EXISTING	EXISTING

Project No. SP 743  
APPROVED BY THE PLANNING DIVISION  
OF THE CITY OF RANCHO PALOS VERDES  
☐ With Conditions\* ☒ As Submitted  
Date: 4/4/77  
By: Fred Keltz

It is unlawful to make any alterations on this set of plans without written permission from the Planning Division. Approval is void after 180 days, unless otherwise specified in the conditions of approval.  
Not valid unless accompanied by a completed clearance form.

B  
6' x 6' Box Pole  
Sign  
Face change  
only  
Paint Cabinet  
and pole.

NOTE:  
UNLESS LABELED "NEW"  
ALL WORK SHOWN IS  
EXISTING.



SCALE: 1/16" = 1'-0"

PLAN FOR REF. ONLY!!! NO NEW WORK TO BE DONE!!!

ORIGINAL DATE: 2-20-76 LAST REVISION: 4-30-76

LOCATION: 05-02-0382 WESTERN & PARK WESTERN DINGLER  
SAN PEDRO GUSTAVESON

Jack-in-the-Box

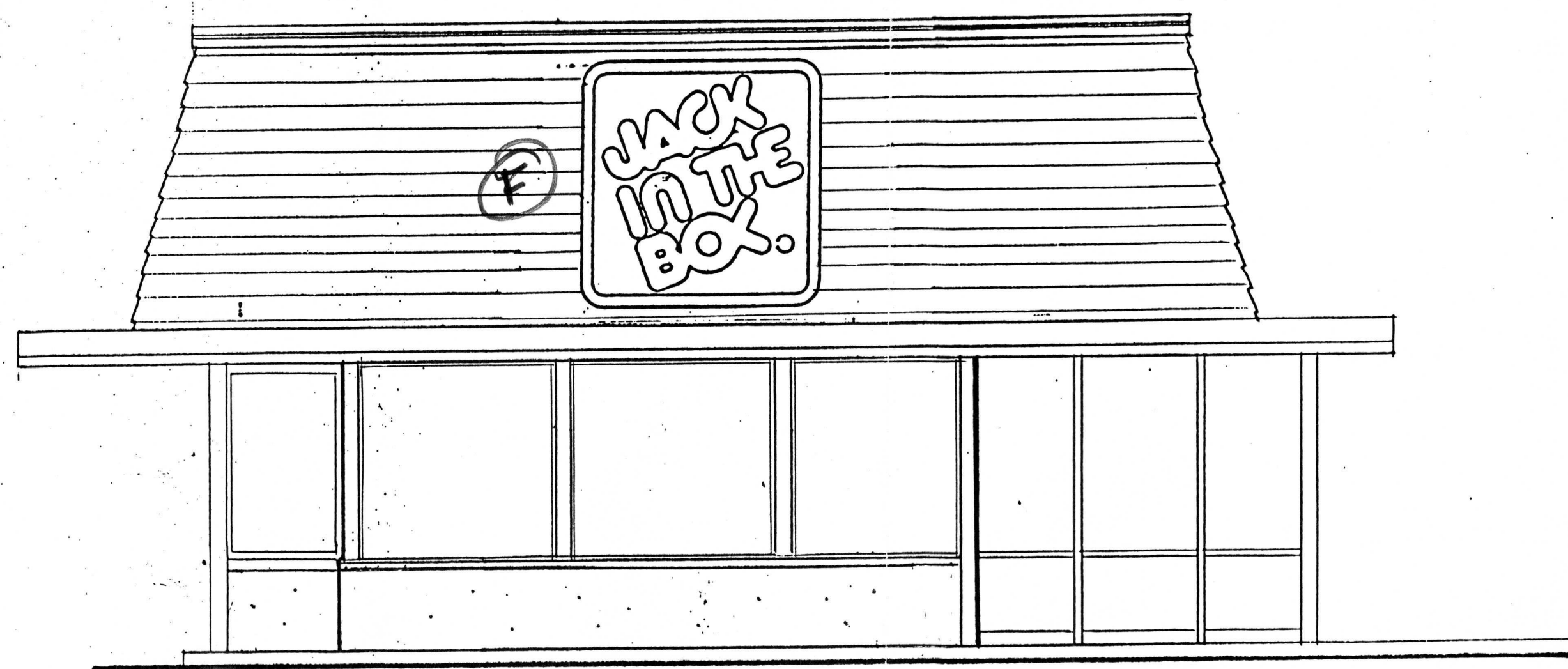
Foodmaker, Inc.

P.O. BOX 783, SAN DIEGO, CALIFORNIA 92112

3A40LMZ/P  
3A40

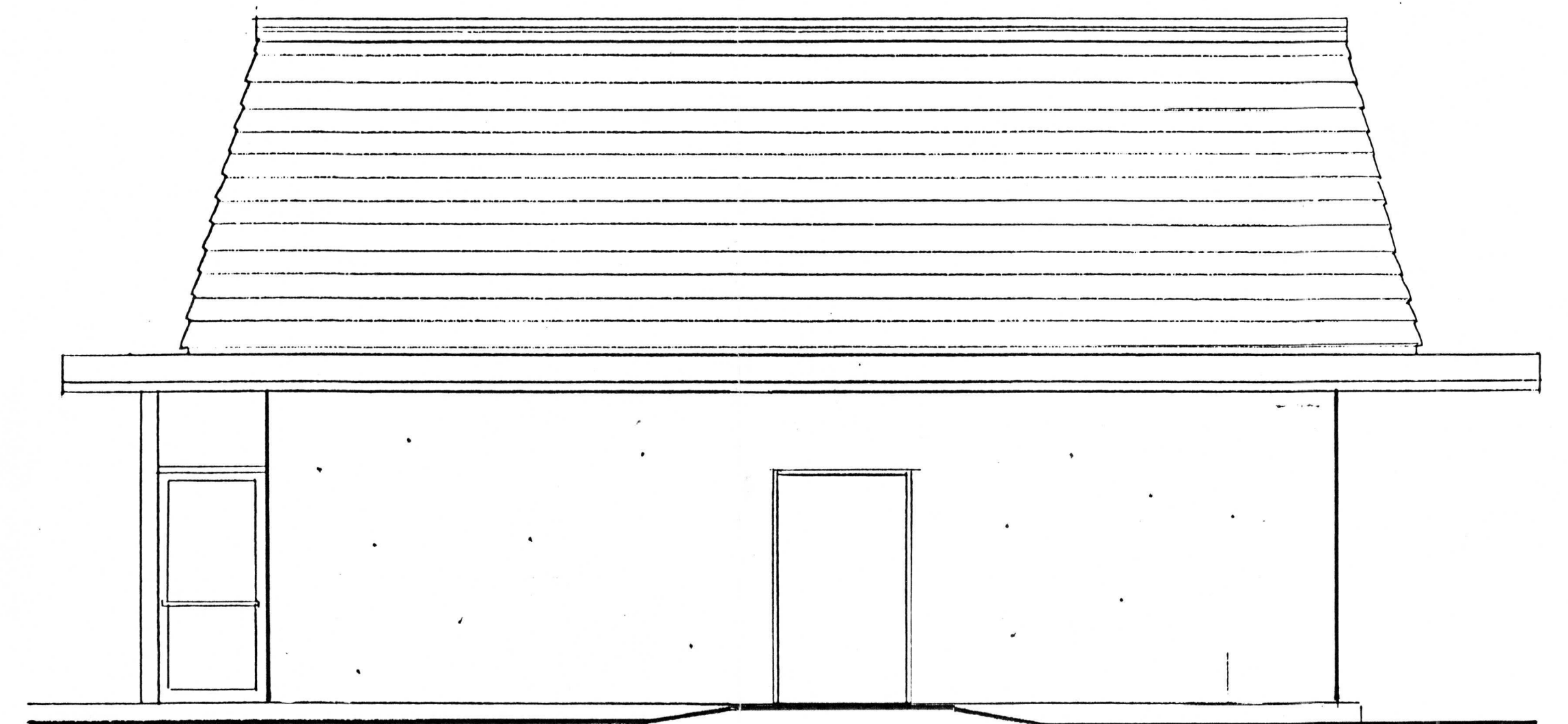
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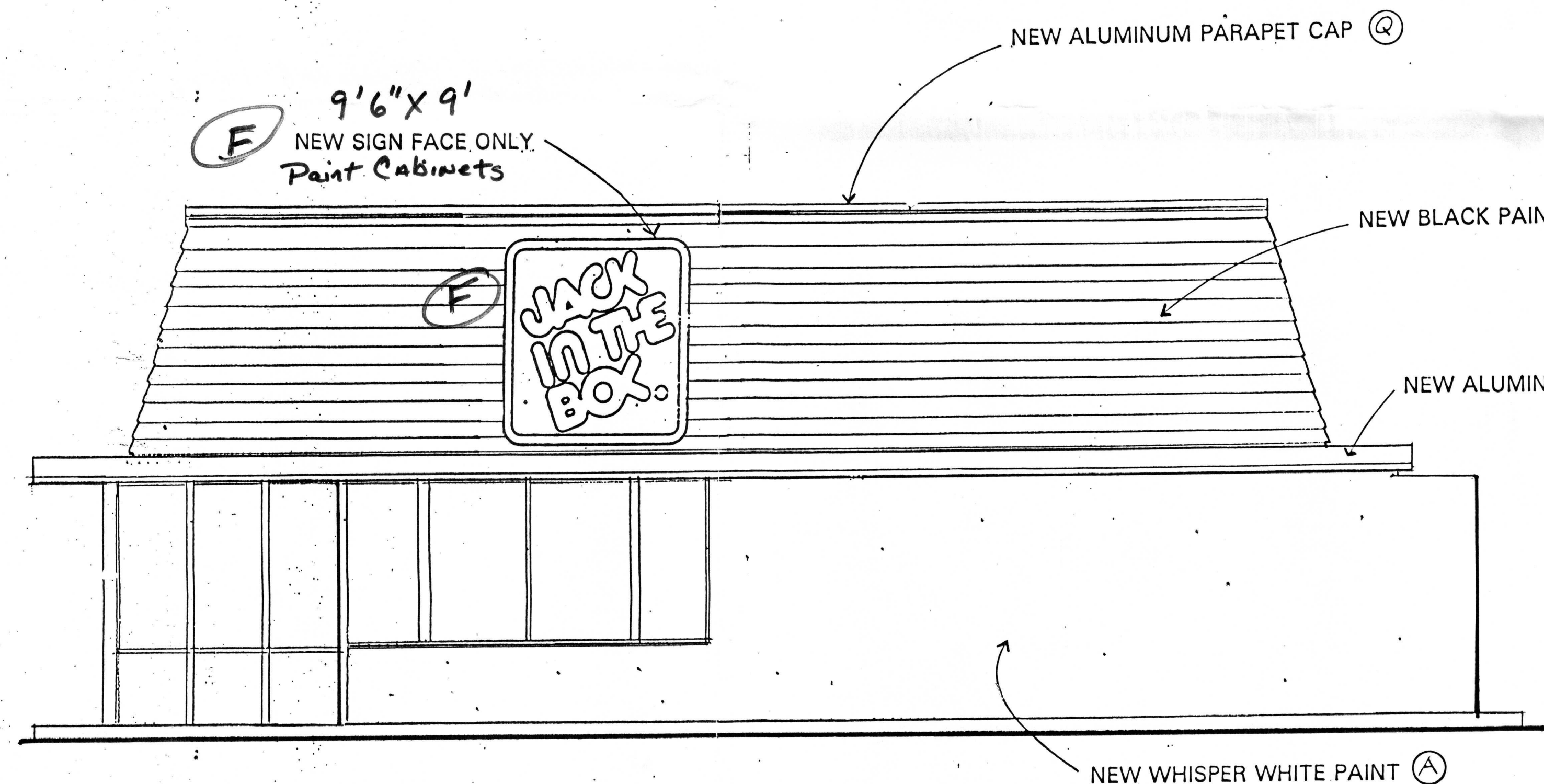


FRONT ELEVATION

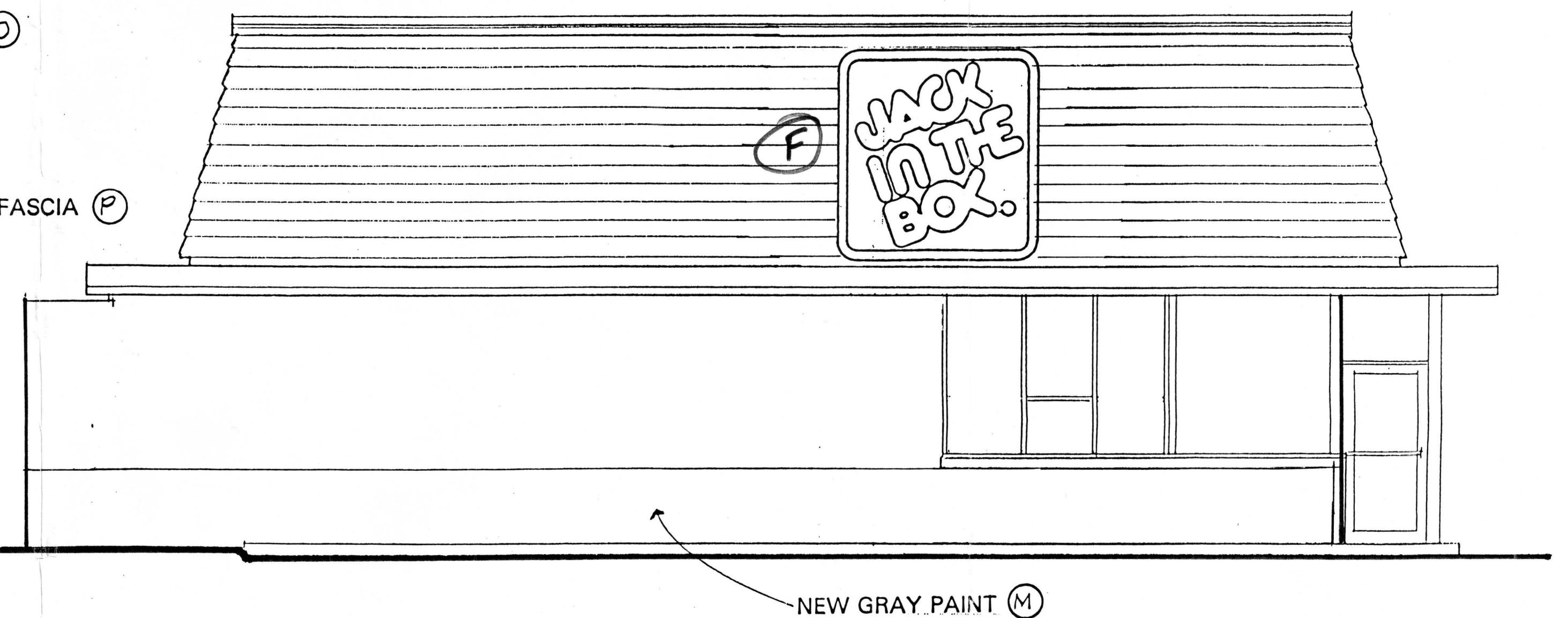
CNP  
Face Change (F)  
ONLY



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

PAINT/MATERIAL SCHEDULE			
SYMBOL	MATERIAL	COLOR	FINISH
A	Paint	Whisper White	Semi-Gloss Enamel
C	Paint	Ultra Black	Gloss
D	Paint	Ultra Black	Exterior Flat
G	Paint	Jib Red	Gloss
M	Paint	Rain Cloud	Semi-Gloss
P	Aluminum Fascia		
Q	Aluminum Parapet		
R	Neon Single Tube Light Strip		

Project No. SP 743

APPROVED BY THE PLANNING DIVISION  
OF THE CITY OF RANCHO PALOS VERDES

☐ With Conditions\* ☒ As Submitted

Date: 9/4/97

By: Frank A. 500

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