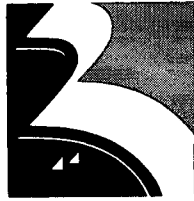


FILE CONTROL SHEET

PROPERTY ADDRESS 5403 WHITEFOX

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RANCHO PALOS VERDES

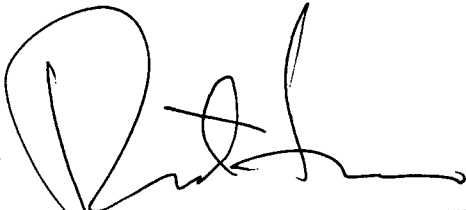
Certification of Acceptance of Project Conditions of Approval

PROJECT: Site Plan Review No. 9071

PROJECT LOCATION: 5403 Whitefox Drive

APPROVAL DATE: March 21, 2001

I, Robert Treman, the applicant for the above-mentioned project hereby certify that I have read, understand, and accept all conditions of approval applicable to this project.



Signature of Applicant

6/18/01

Date

(Note: This certification shall be signed and returned to the City of Rancho Palos Verdes Department of Planning, Building and Code Enforcement at 30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275 before **June 19, 2001**.)

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PROJECT CONTROL SHEET

Application Number: SITE PLAN REVIEW NO. 9071
Related Applications: none
Date Received: 1/26/01 Fee Received: \$ ~~175.00~~ \$350.00
Name(Landowner): Gerich
Project Address: 5403 Whitefox

ENVIRONMENTAL REQUIREMENTS

Date

CEQA STATUS: _____

STAFF ACTION

2-1-01	Submittal letter sent
2-15-01	Complete
2-15-01	Notices mailed & emailed to PVHews
3-21-01	Director Approved
4/6/01	Final Letter mailed

PLANNING COMMISSION ACTION

CITY COUNCIL ACTION



**CITY OF RANCHO PALOS VERDES
PLANNING CLEARANCE**

PAGE 1 OF 2

THIS FORM, ALONG WITH TWO COPIES OF THE APPROVED PLANS, MUST BE SUBMITTED TO BUILDING AND SAFETY WHEN APPLYING FOR A PERMIT.

PROJECT LOCATION: 5403 WHITEFOX DRIVE LOT NO.: 66 TRACT NO.: 21351

OWNER'S NAME / ADDRESS: BILL GERICH / SAME

PROJECT NO.: SITE PLAN REVIEW NO. 9071 ☐ MINISTERIAL ☒ DISCRETIONARY

PROJECT DESCRIPTION: A REQUEST TO CONSTRUCT 621 SQUARE FEET OF SINGLE-STORY ROOM ADDITIONS TO AN EXISTING ONE-STORY RESIDENCE, ALONG THE EAST WEST AND REAR ELEVATIONS. AT A HEIGHT OF APPROXIMATELY 15'-9", AS MEASURED FROM EXISTING GRADE COVERED BY STRUCTURE AND THE INSTALLATION OF A GARDEN WINDOW AND FOUR SKYLIGHTS.

Approval is granted subject to the following conditions:

1. The applicant/property owner shall submit to the City a statement, in writing that they have read, understand and agree to all conditions of approval listed below. Failure to provide said written statement within ninety (90) days of the effective date of approval shall render this approval null and void.
2. Approval of Site Plan Review No. 9071 is for the construction of 621 square-feet of one-story additions to an existing single-story single family residential structure, resulting in a 2,454 square foot structure (including garage), an 80 square-foot trellis and the installation of a garden window and four skylights.
3. The addition shall maintain the following minimum setbacks:
15'-0" rear yard (proposed 15'-2")
5'-0" interior side yard (proposed 6'-10")
20'-0" front yard (proposed 45'-0")
4. The maximum height of the addition shall not exceed 16-feet, as measured from the highest point of existing grade covered by the structure to ridge (proposed: 15'-3"). The maximum height of the addition shall not exceed 16-feet, measured from the finished grade adjacent to the lowest foundation to ridge (proposed: 15'-9"). **RIDGE HEIGHT CERTIFICATION REQUIRED**
5. The approved project shall maintain a maximum of 52% lot coverage (48% proposed), the additions shall not exceed 621 square feet, and the trellis shall not exceed 80 square feet.
6. On March 5, 2001, City Staff conducted a foliage analysis on the subject property and determined that there is no existing foliage on the subject property that exceeds 16 feet in height and significantly impairs views from neighboring properties. Therefore, City Staff finds that no foliage shall be removed under this application request.
7. The project shall substantially conform to the plans stamped approved with the effective date of this approval.
8. Any fencing, walls and hedges within the front yard shall not exceed 42" in height, as measured from adjacent grade.

9. No outdoor lighting shall be directed toward or results in direct illumination of a parcel of property or properties other than that upon which such light source is physically located. Individual, nonreflector, incandescent light bulbs shall not exceed 150 watts each, or an aggregate of 1,000 watts.
10. The Director of Planning, Building and Code Enforcement is authorized to make minor modifications to the approved plans or any of the conditions if such modifications achieve substantially the same results as would strict compliance with said plans and conditions.
11. Permitted hours of construction are 7:00 a.m. to 7:00 p.m. Monday through Saturday. No work is permitted on Sundays or legal holidays.
12. The construction site shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, and appliances or other household fixtures.
13. In the event that a Planning requirement and a Building and Safety requirement are in conflict with one another, the stricter standard shall apply.
14. No grading is permitted with this approval and if the proposed earth movement exceeds twenty (20) cubic yards or three (3) feet of fill, a separate grading permit shall be required.
15. All applicable soils/geotechnical reports required by the Building and Safety Division shall be obtained by the applicant and approved by the City's geologist prior to building permit issuance.
16. All applicable permits required by the Building and Safety Division shall be obtained by the applicant prior to commencing work.

☐ DUMP DEPOSIT REQUIRED

☒ BUILDING PERMIT REQUIRED

The City strongly urges the applicant for this project to contact the Homeowner's Association or local Art Jury, if any, to gain any additional approvals that may be required before applying for a building permit. A list of Homeowner's Associations is on file with the Planning, Building, and Code Enforcement Department of Rancho Palos Verdes.

By: _____

For Director of Planning, Building, and Code Enforcement

Date[†]: _____

4/9/01

[†] THE APPROVAL SHALL BE NULL AND VOID AFTER 180 DAYS FROM THE DATE NOTED UNLESS THE APPROVED PLANS ARE SUBMITTED TO BUILDING AND SAFETY TO INITIATE THE "PLAN CHECK" REVIEW PROCESS. THIS APPROVAL SHALL ALSO BECOME NULL AND VOID IF AFTER INITIATING THE "PLAN CHECK" REVIEW PROCESS OR RECEIVING A BUILDING PERMIT TO BEGIN CONSTRUCTION, SAID PERMIT OR "PLAN CHECK" IS ALLOWED TO EXPIRE OR IS WITHDRAWN BY THE APPLICANT.



RANCHO PALOS VERDES

Certification of Acceptance of Project Conditions of Approval

PROJECT: Site Plan Review No. 9071

PROJECT LOCATION: 5403 Whitefox Drive

APPROVAL DATE: March 21, 2001

RECEIVED

APR 09 2001

PLANNING, BUILDING,
& CODE ENFORCEMENT

I, Bill Gerich, the applicant for the above-mentioned project hereby certify that I have read, understand, and accept all conditions of approval applicable to this project.



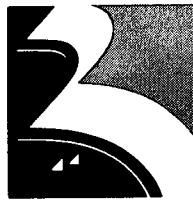
Signature of Applicant

4-8-01

Date

(Note: This certification shall be signed and returned to the City of Rancho Palos Verdes Department of Planning, Building and Code Enforcement at 30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275 before **June 19, 2001**.)

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RANCHO PALOS VERDES

April 6, 2001

Mr. Bill Gerich
5403 Whitefox Drive
Rancho Palos Verdes, CA 90275

Subject: Site Plan Review No. 9071
Project Address: 5403 Whitefox Drive

Dear Mr. Gerich:

On March 21, 2001, the Director of Planning, Building and Code Enforcement approved the above referenced application for the construction of 621 square feet of one-story room additions to an existing 1,392 square foot one-story residence.

The appeal period has expired with no appeal filed. Therefore, the approval is final and valid for 180 days from March 21, 2001, during which time the approved plans must be submitted to the Building and Safety Division to initiate the "plan check" review process, or said approval will also become null and void if, after initiating the "plan check" review process or receiving a building permit to begin construction, said permit or "plan check" is allowed to expire or is withdrawn by the applicant. Please sign the Certification of Acceptance of Project Conditions of Approval to indicated that you have read, understand and agree to all the conditions of approval in Exhibit "A". Failure to provide said written statement by June 19, 2001 shall render this approval null and void.

Upon the submittal of the Certification of Acceptance of Project Conditions of Approval, please set-up an appointment to receive your two (2) sets of approved plans. If you have any further questions regarding the processing of your application after receiving this notice, please feel free to call me at (310) 544-5228 or via e-mail at erikk@rpv.com.

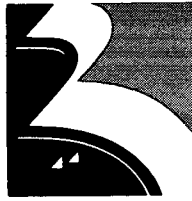
Sincerely,



Erik Krause
Assistant Planner

Enclosure: Certification of Acceptance of Project Conditions of Approval, Exhibit "A"
cc: Robert Treman, 2100 Sepulveda, Suite 11, Manhattan Beach, CA 90266

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RANCHO PALOS VERDES

Certification of Acceptance of Project Conditions of Approval

PROJECT: Site Plan Review No. 9071

PROJECT LOCATION: 5403 Whitefox Drive

APPROVAL DATE: March 21, 2001

I, _____, the applicant for the above-mentioned project hereby certify that I have read, understand, and accept all conditions of approval applicable to this project.

Signature of Applicant

Date

(Note: This certification shall be signed and returned to the City of Rancho Palos Verdes Department of Planning, Building and Code Enforcement at 30940 Hawthorne Boulevard, Rancho Palos Verdes, CA 90275 before **June 19, 2001.**)

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Exhibit "A"
Conditions of Approval

Site Plan Review No. 9071

1. The applicant/property owner shall submit to the City a statement, in writing that they have read, understand and agree to all conditions of approval listed below. Failure to provide said written statement within ninety (90) days of the effective date of approval shall render this approval null and void.
2. Approval of Site Plan Review No. 9071 is for the construction of 621 square-feet of one-story additions to an existing single-story single family residential structure, resulting in a 2,454 square foot structure (including garage), an 80 square-foot trellis and the installation of a garden window and four skylights.
3. The addition shall maintain the following minimum setbacks:
 - 15'-0" rear yard (proposed 15'-2")
 - 5'-0" interior side yard (proposed 6'-10")
 - 20'-0" front yard (proposed 45'-0")
4. The maximum height of the addition shall not exceed 16-feet, as measured from the highest point of existing grade covered by the structure to ridge (proposed: 15'-3"). The maximum height of the addition shall not exceed 16-feet, measured from the finished grade adjacent to the lowest foundation to ridge (proposed: 15'-9"). **RIDGE HEIGHT CERTIFICATION REQUIRED**
5. The approved project shall maintain a maximum of 52% lot coverage (48% proposed), the additions shall not exceed 621 square feet, and the trellis shall not exceed 80 square feet.
6. On March 5, 2001, City Staff conducted a foliage analysis on the subject property and determined that there is no existing foliage on the subject property that exceeds 16 feet in height and significantly impairs views from neighboring properties. Therefore, City Staff finds that no foliage shall be removed under this application request.
7. The project shall substantially conform to the plans stamped approved with the effective date of this approval.
8. Any fencing, walls and hedges within the front yard shall not exceed 42" in height, as measured from adjacent grade.
9. No outdoor lighting shall be directed toward or results in direct illumination of a parcel of property or properties other than that upon which such light source is physically located. Individual, nonreflector, incandescent light bulbs shall not exceed 150 watts each, or an aggregate of 1,000 watts.

10. The Director of Planning, Building and Code Enforcement is authorized to make minor modifications to the approved plans or any of the conditions if such modifications achieve substantially the same results as would strict compliance with said plans and conditions.
11. Permitted hours of construction are 7:00 a.m. to 7:00 p.m. Monday through Saturday. No work is permitted on Sundays or legal holidays.
12. The construction site shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, and appliances or other household fixtures.
13. In the event that a Planning requirement and a Building and Safety requirement are in conflict with one another, the stricter standard shall apply.
14. No grading is permitted with this approval and if the proposed earth movement exceeds twenty (20) cubic yards or three (3) feet of fill, a separate grading permit shall be required.
15. All applicable soils/geotechnical reports required by the Building and Safety Division shall be obtained by the applicant and approved by the City's geologist prior to building permit issuance.
16. All applicable permits required by the Building and Safety Division shall be obtained by the applicant prior to commencing work.



RANCHO PALOS VERDES

March 21, 2001

NOTICE OF DECISION

NOTICE IS HEREBY GIVEN that the City of Rancho Palos Verdes has approved a request for Site Plan Review No. 9071.

Location: 5403 Whitefox Drive (Thomas Guide 793-A6)

Applicant: Robert Treman Architecture

Landowner: Bill Gerich

Said approval is for the construction of 621 square feet of single-story room additions to an existing 1,392 square foot one-story residence, along the east west and rear elevations. The approval is subject to the following conditions:

1. The applicant/property owner shall submit to the City a statement, in writing that they have read, understand and agree to all conditions of approval listed below. Failure to provide said written statement within ninety (90) days of the effective date of approval shall render this approval null and void.
2. Approval of Site Plan Review No. 9071 is for the construction of 621 square-feet of one-story additions to an existing single-story single family residential structure, resulting in a 2,454 square foot structure (including garage), an 80 square-foot trellis and the installation of a garden window and four skylights.
3. The addition shall maintain the following minimum setbacks:
 - 15'-0" rear yard (proposed 15'-2")
 - 5'-0" interior side yard (proposed 6'-10")
 - 20'-0" front yard (proposed 45'-0")
4. The maximum height of the addition shall not exceed 16-feet, as measured from the highest point of existing grade covered by the structure to ridge (proposed: 15'-3"). The maximum height of the addition shall not exceed 20-feet, measured from the finished grade adjacent to the lowest foundation to ridge (proposed: 15'-9"). **RIDGE HEIGHT CERTIFICATION REQUIRED**

5. The approved project shall maintain a maximum of 52% lot coverage (48% proposed), the additions shall not exceed 621 square feet, and the trellis shall not exceed 80 square feet.
6. On March 5, 2001, City Staff conducted a foliage analysis on the subject property and determined that there is no existing foliage on the subject property that exceeds 16 feet in height and significantly impairs views from neighboring properties. Therefore, City Staff finds that no foliage shall be removed under this application request.
7. The project shall substantially conform to the plans stamped approved with the effective date of this approval.
8. Any fencing, walls and hedges within the front yard shall not exceed 42" in height, as measured from adjacent grade.
9. No outdoor lighting shall be directed toward or results in direct illumination of a parcel of property or properties other than that upon which such light source is physically located. Individual, nonreflector, incandescent light bulbs shall not exceed 150 watts each, or an aggregate of 1,000 watts.
10. The Director of Planning, Building and Code Enforcement is authorized to make minor modifications to the approved plans or any of the conditions if such modifications achieve substantially the same results as would strict compliance with said plans and conditions.
11. Permitted hours of construction are 7:00 a.m. to 7:00 p.m. Monday through Saturday. No work is permitted on Sundays or legal holidays.
12. The construction site shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, and appliances or other household fixtures.
13. In the event that a Planning requirement and a Building and Safety requirement are in conflict with one another, the stricter standard shall apply.
14. No grading is permitted with this approval and if the proposed earth movement exceeds twenty (20) cubic yards or three (3) feet of fill, a separate grading permit shall be required.

Notice of Decision – Site Plan Review No. 9071

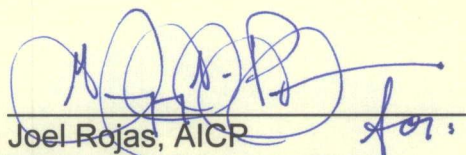
March 21, 2001

Page 3

15. All applicable soils/geotechnical reports required by the Building and Safety Division shall be obtained by the applicant and approved by the City's geologist prior to building permit issuance.
16. All applicable permits required by the Building and Safety Division shall be obtained by the applicant prior to commencing work.

Any interested person may appeal this decision in writing to the Planning Commission within fifteen (15) calendar days of the date of this notice. A \$700.00 appeal fee must accompany any appeal. The Department hours are from 7:30 a.m. to 5:30 p.m., Monday through Thursday, and 7:30 a.m. to 4:30 p.m. Friday.

If you have any questions regarding this matter, please contact Erik Krause, Assistant Planner, at (310) 544-5228 or via e-mail at erikk@rpv.com.

A handwritten signature in blue ink, appearing to read "Joel Rojas", is written over a horizontal line. To the right of the signature, the word "for:" is handwritten.

Joel Rojas, AICP
Director of Planning, Building
and Code Enforcement



RANCHO PALOS VERDES

DEPARTMENT OF PLANNING, BUILDING, AND CODE ENFORCEMENT

MEMORANDUM

TO: DIRECTOR OF PLANNING, BUILDING AND CODE ENFORCEMENT
FROM: ERIK KRAUSE, ASSISTANT PLANNER *SK*
DATE: MARCH 16, 2001
SUBJECT: SITE PLAN REVIEW NO. 9071 (Land Owner: Bill Gerich; Address: 5403 Whitefox Drive)

RECOMMENDATION

Approve Site Plan Review No. 9071, subject to the conditions contained in the attached Exhibit "A".

BACKGROUND

On January 26, 2001, Site Plan Review No. 9071 was submitted to the Planning, Building and Code Enforcement Department for processing. The application requests a total of 621 square feet of one-story additions to an existing one-story residence, which is an expansion that is greater than 25% of the original structure requiring a "neighborhood compatibility" analysis. After review of the application, Staff deemed the application generally complete on February 15, 2001, and mailed notices to 88 property owners within a 500-foot radius from the subject property, providing a 15-day time period for the submittal of comments and concerns. The notice of the proposal was also published in the *Palos Verdes Peninsula News* on February 17, 2001. Staff received no comments as a result of this notification prior to the end of the comment period on March 5, 2001. However, one comment letter was received on March 12, 2001, which, although late, was taken into consideration as part of the analysis of this project. A copy of the letter is attached to this Staff Report as Exhibit "B".

SITE DESCRIPTION

The subject property is located at 5403 Whitefox Drive, on the north side of the street. The parcel is a rectangular shaped interior lot measuring 66-feet along the front and rear property lines with a lot depth of 110-feet. The overall lot area measures 7,260 square feet. The parcel is zoned single-family residential, RS-5, and is currently improved with a one-story 1,392 square foot single-family residence and 441 square foot two-car garage, for an overall structure size of 1,833 square feet. The existing two-

MEMORANDUM: Site Plan Review No. 9071
March 16, 2001

car garage encroaches within the front yard setback area by approximately two (2) feet, which is consistent with the development in the surrounding neighborhood.

PROJECT DESCRIPTION

The application represents a request for Director approval of Site Plan Review No. 9071. The applicant proposes the construction of 621 square feet of single-story room additions to an existing 1,392 square foot one-story residence, along the east, west and rear elevations that include the following:

- 271 square-foot addition at the northwest corner of the existing residence within the rear and western side yard;
- 100 square-foot addition at the southeast corner of the existing residence within the eastern portion of the front yard; and
- Enclosures of two separate covered porches totaling 250 square-feet at the eastern rear elevation and the front entrance of the existing residence.

The proposed 621 square feet of additions will result in a 2,013 square foot structure. The maximum ridgeline height of the additions will measure fifteen feet nine inches (15'-9") to match the height of the existing structure. The proposed additions measure greater than twenty-five (25) percent of the original structure size (garage included) and would therefore require a "Neighborhood Compatibility" finding.

In addition to the 621 square-feet of room additions, an 80 square-foot trellis at a height of nine feet seven inches (9'-7") will be constructed within the rear yard adjacent to the proposed enclosed porch, at the northeast corner of the residence. Earth movement is proposed in the northeast corner of the rear yard at the property line that will consist of thirty-five (35) inches of fill resulting in a total of ten (10) cubic yards of soil to be moved. The applicant is also proposing to install a garden window in the kitchen as well as four skylights: two in the kitchen and two separate locations in the hallway.

ENVIRONMENTAL ASSESSMENT

In accordance with the provisions of the California Environmental Quality Act (CEQA), Staff has determined this project to be categorically exempt under Class 1 – Existing Facilities. Staff concluded that the addition does not intensify the use of the lot since the property is currently developed with a single-family residence, nor would the addition result in an increase of more than 50 percent of the floor area of the existing structure before the addition. No further environmental review is considered to be necessary.

CODE CONSIDERATIONS AND ANALYSIS

Section 17.02.030.B of the Rancho Palos Verdes Municipal Code (RPVMC) requires a finding of "Neighborhood Compatibility" for projects involving additions to an existing single-family residence that exceed twenty-five (25) percent of the original structure size (garage included). The neighborhood compatibility analysis involves a determination of whether a proposed project is compatible with the existing neighborhood character. By definition, "Neighborhood Character" means the scale of surrounding residences, the architectural style and materials, and the front yard setbacks.

(1) Scale of surrounding residences, including total square footage and lot coverage of the residence and all ancillary structures.

To determine whether or not the proposed addition is compatibility with existing neighborhood character Staff compared the project to existing structures within the immediate neighborhood, which is comprised of the ten (10) closest properties, as shown in Table 1 below.

Table 1

Address	Lot Size	Structure Size ¹ (existing)	No. of Stories
5349 Whitefox Drive	7,150 sq.ft.	2,202 sq.ft.	One
5354 Whitefox Drive	13,561 sq.ft.	1,697 sq.ft.	One
5355 Whitefox Drive	7,150 sq.ft.	2,031 sq.ft.	One
5360 Whitefox Drive	12,623 sq.ft.	1,817 sq.ft.	One
5363 Whitefox Drive	7,260 sq.ft.	2,029 sq.ft.	One
5404 Whitefox Drive	12,979 sq.ft.	3,537 sq.ft.	Two
5410 Whitefox Drive	12,448 sq.ft.	2,351 sq.ft.	One
5411 Whitefox Drive	7,814 sq.ft.	2,395 sq.ft.	One
5418 Whitefox Drive	12,910 sq.ft.	1,817 sq.ft.	One
5419 Whitefox Drive	8,277 sq.ft.	2,548 sq.ft.	One
¹ The structure size includes the square footage of the main residence, garage, and any additions as indicated on the building permit records in the address files.			

As identified in Table 1, the existing structure sizes within the immediate neighborhood range from 1,697 square feet to 3,537 square feet. In addition, the immediate neighborhood is comprised of one-story residential structures with the exception of the two-story residence at 5404 Whitefox Drive. The existing and proposed structure size

MEMORANDUM: Site Plan Review No. 9071
March 16, 2001

of the subject property was compared to the average structure size within the immediate neighborhood, as shown in Table 2 below.

Table 2

5403 Whitefox Drive	Lot Size	Structure Size	No. of Stories
Neighborhood Average	10,221 sq.ft.	2,242 sq.ft.	One
Existing	7,260 sq.ft.	1,833 sq.ft.	One
Proposed	N/A	2,454 sq.ft.	One

The proposed 621 square foot expansion will result in an overall structure size of 2,454 square feet, which is 1,083 square feet smaller than the largest existing residence in the immediate neighborhood, and 212 square feet larger than the average structure size. The overall structure size of the proposed addition will be within the range of structure sizes, as discussed above. In addition, the proposed project will be constructed as a single-story structure and would maintain the existing gable roof design and ridgeline height. Therefore, Staff concludes that the proposed project would not result in a substantial deviation from the characteristics of the immediate neighborhood when compared to the existing square footage of structures within that neighborhood.

(2) Architectural styles, including facade treatments, structure height, open space between structures, roof design, the apparent bulk or mass of the structure, number of stories, and building materials.

The exterior finish of the additions will be consistent with the existing residence including composition shingle roof and stucco elevations, with the exception of the front elevation. The existing vertical wood paneling on the front elevation will be removed and replaced with smooth finish stucco. In addition, the existing wood accents on the south elevation of the garage will be removed. The existing structure contains a gable roof with the main ridgeline that parallels Whitefox Drive. A second gable is located on the western portion of the front elevation with a ridgeline that parallels the side yard. The ridgeline of the roof over the garage also parallels the side yard. The proposed additions at the along the rear and front elevations will be constructed with a gable roof with the ridgeline similar to the garage and western portion of the front elevation. No modifications will be made to the existing roof pitch or pattern.

The highest ridgeline of the proposed additions will maintain an overall height of fifteen feet nine inches (15'-9"), which will maintain the highest ridgeline of the existing structure. No portion of any addition will exceed the 16-foot height limit. Therefore, the proposed additions will comply with the 16'/20' building envelope for pad lots.

MEMORANDUM: Site Plan Review No. 9071
March 16, 2001

Therefore, Staff believes that the expansion will not substantially change the appearance of the existing residence fronting Whitefox Drive. In addition, there are no issues or concerns of bulk or mass since the majority of the additions will be located within the rear and side yards and will not be visible from the street. Therefore, the proposed additions meet the intent of this finding.

(3) Front yard setbacks.

The existing residence is located approximately thirty-eight feet six inches (38'-6") from the front property line at its closest point and approximately fifty-three feet (53'-0") at the recessed front entrance. The existing garage is located within the front yard setback, approximately seventeen feet ten inches (17'-10"), which is consistent with the development in the immediate neighborhood.

The proposed addition within the front yard will be located at the front recessed entrance on the northeast portion of the existing residence. This addition includes enclosing the covered porch and projecting that area out an additional seven feet ten inches (7'-10") into the front yard. Once constructed the front yard setback at the addition will be approximately forty-five feet (45'-0"). No additions are proposed within the front yard to the northwest portion of the main residence, which is attached to the garage. The existing articulated front elevation will remain similar to the existing residence since it will maintain a setback appearance. No additions will occur within the required twenty-foot (20'-0") front yard setback. In addition, several other residences within the immediate neighborhood have constructed similar additions in the front portion of the lot. Therefore, Staff concludes that front yard setback of the proposed project will be similar to the residences within the immediate neighborhood.

SITE PLAN REVIEW

Pursuant to Chapter 17.70 of the City's Development Code, a Site Plan Review Application is required for the construction of additions. The City's primary concern in processing a Site Plan Review is to ensure that the proposed construction is consistent with the City's Development Code.

As indicated above the proposed addition within the front yard would not encroach into the required twenty foot (20'-0") front yard setback. The rear yard setback will be reduced from approximately twenty-seven feet (27'-0") at the northwest corner of the existing structure to seventeen feet (17'-0") as a result of the proposed addition. The proposed trellis located at the northeast corner of the structure will be setback fifteen feet two inches (15'-2"). The side yard setback will be eleven feet two inches (11'-2") on the west side and six feet ten inches (6'-10") on the east side. In addition the proposed garden window at the rear of the property would not project beyond the existing roof eave or within the required rear yard setback. No portion of the proposed additions would encroach within any required setback.

MEMORANDUM: Site Plan Review No. 9071
March 16, 2001

Once constructed the proposed addition will result in an overall building of fifteen feet three inches (15'-3") at the highest point of existing grade covered by structure and fifteen feet nine inches (15'-9") from the finished grade to the lowest foundation to ridge. The four proposed skylights will be installed so that no portion of any skylight would project beyond the ridgeline of the roof. As discussed above the proposed additions will comply with the 16'/20' building envelope for pad lots. The proposed additions will result in forty-eight (48) percent lot coverage, which would fall within the allowable lot coverage in the RS-5 zoning designation of fifty-two (52) percent. Therefore, Staff has determined that proposed additions to the subject property meet the requirements of the City's Development Code in respects to setbacks, building height, and lot coverage.

On March 5, 2001, City Staff conducted a foliage analysis on the subject property and determined that there is no existing foliage that exceeds 16 feet in height and significantly impairs views from neighboring properties.

RESPONSE TO COMMENTS

On March 12, 2001 the Department of Planning, Building and Code Enforcement received a comment letter from D.L. Bromley at 5420 Montemalaga Drive regarding the proposed development. Although the letter was received after the fifteen (15) day notice period it was reviewed by Staff and included in the analysis as discussed below. A copy of the letter is attached as Exhibit "B".

Mr. Bromley's property is located downslope from subject property; however, the lots do not share a common rear property line. In his letter he addresses his concerns with potential impacts the proposed additions could have on the drainage pattern and stability of the slope in the rear yard of the subject lot. In responding to Mr. Bromley's letter it should be noted that the existing topography on the subject lot slopes toward Whitefox Drive and away from the rear portion of the lot. In addition, no changes to the existing topography would occur as a result of the proposed development. Any potential drainage and slope stability impacts that could occur as a result the proposed additions would be adequately addressed since the proposed additions must comply with all applicable City and the Uniformed Building Code (UBC) requirements, and the project is conditioned accordingly.

CONCLUSION

Based upon the discussion and evidence above, Staff believes that the residence will be compatible with the immediate neighborhood, complies with the standards of the City's Development Code, and appropriate conditions have been incorporated to warrant approval of Site Plan Review No. 9071. Therefore, Staff recommends that the Director approve Site Plan Review No. 9071, subject to the conditions contained in Exhibit "A".

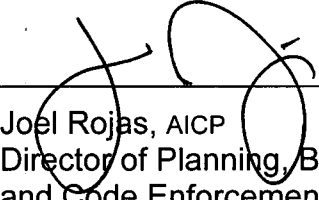
MEMORANDUM: Site Plan Review No. 9071
March 16, 2001

ALTERNATIVES

The following alternatives are available for the Director to consider:

- 1) Approve Site Plan Review No. 9071, subject to the conditions contained in Exhibit "A"; or
- 2) Identify any issues of concern and direct the applicant to re-design and resubmit the applications; or
- 3) Deny Site Plan Review No. 9071.

Approved pursuant to Alternative No. 1:



Joel Rojas, AICP
Director of Planning, Building
and Code Enforcement

Date: 3-20-01

Attachments:

- Exhibit "A" – Conditions of Approval
- Exhibit "B" - Copy of Comment Letter sent by D.L. Bromley, 5420 Montemalaga Drive, Rancho Palos Verdes, CA 90275.

Exhibit "A"
Conditions of Approval

Site Plan Review No. 9071

1. The applicant/property owner shall submit to the City a statement, in writing that they have read, understand and agree to all conditions of approval listed below. Failure to provide said written statement within ninety (90) days of the effective date of approval shall render this approval null and void.
2. Approval of Site Plan Review No. 9071 is for the construction of 621 square-feet of one-story additions to an existing single-story single family residential structure, resulting in a 2,454 square foot structure (including garage), an 80 square-foot trellis and the installation of a garden window and four skylights.
3. The addition shall maintain the following minimum setbacks:
 - 15'-0" rear yard (proposed 15'-2")
 - 5'-0" interior side yard (proposed 6'-10")
 - 20'-0" front yard (proposed 45'-0")
4. The maximum height of the addition shall not exceed 16-feet, as measured from the highest point of existing grade covered by the structure to ridge (proposed: 15'-3"). The maximum height of the addition shall not exceed 16-feet, measured from the finished grade adjacent to the lowest foundation to ridge (proposed: 15'-9"). **RIDGE HEIGHT CERTIFICATION REQUIRED**
5. The approved project shall maintain a maximum of 52% lot coverage (48% proposed), the additions shall not exceed 621 square feet, and the trellis shall not exceed 80 square feet.
6. On March 5, 2001, City Staff conducted a foliage analysis on the subject property and determined that there is no existing foliage on the subject property that exceeds 16 feet in height and significantly impairs views from neighboring properties. Therefore, City Staff finds that no foliage shall be removed under this application request.
7. The project shall substantially conform to the plans stamped approved with the effective date of this approval.
8. Any fencing, walls and hedges within the front yard shall not exceed 42" in height, as measured from adjacent grade.
9. No outdoor lighting shall be directed toward or results in direct illumination of a parcel of property or properties other than that upon which such light source is physically located. Individual, nonreflector, incandescent light bulbs shall not exceed 150 watts each, or an aggregate of 1,000 watts.

10. The Director of Planning, Building and Code Enforcement is authorized to make minor modifications to the approved plans or any of the conditions if such modifications achieve substantially the same results as would strict compliance with said plans and conditions.
11. Permitted hours of construction are 7:00 a.m. to 7:00 p.m. Monday through Saturday. No work is permitted on Sundays or legal holidays.
12. The construction site shall be kept free of all loose materials resembling trash and debris in excess of that material used for immediate construction purposes. Such excess material may include, but is not limited to: the accumulation of debris, garbage, lumber, scrap metal, concrete, asphalt, piles of earth, salvage materials, abandoned or discarded furniture, and appliances or other household fixtures.
13. In the event that a Planning requirement and a Building and Safety requirement are in conflict with one another, the stricter standard shall apply.
14. No grading is permitted with this approval and if the proposed earth movement exceeds twenty (20) cubic yards or three (3) feet of fill, a separate grading permit shall be required.
15. All applicable soils/geotechnical reports required by the Building and Safety Division shall be obtained by the applicant and approved by the City's geologist prior to building permit issuance.
16. All applicable permits required by the Building and Safety Division shall be obtained by the applicant prior to commencing work.

Exhibit "B"
Comment Letter - D.L. Bromley
5420 Montemalaga Drive, Rancho Palos Verdes, CA 90275

Site Plan Review No. 9071

RECEIVED

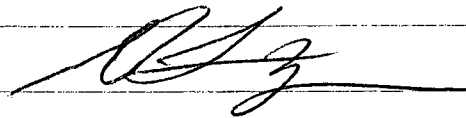
MAR 12 2001

PLANNING, BUILDING,
& CODE ENFORCEMENT

DEPT OF PLANNING & BUILDING

THE CONCERN WE HAVE IS
NOT WITH THE ^{PROPOSED} CONSTRUCTION AT 5403 WHITTIER.
BUT WE WISH TO INSURE THAT DRAINAGE
OR RUN OFF RESULTING FROM CONSTRUCTION
REMODELING DOES NOT AFFECT STABILITY OF
HILL / ^{SLOPE} ON BACK SIDE OF PROPERTY.
WE WISH TO ENSURE THAT ALL
DRAINAGE IE. DRAINAGERS DRAINING
WATER, DRAINLINES AND ANY REGRADING
WILL BE DONE AS PER CITY REQUIREMENTS.

THANK YOU.



D.L. BROMLEY 310-3754998

5420 MONTMALAGA DR. P.V. 90275

RECEIVED

MAR 12 2001

PLANNING, BUILDING,
& CODE ENFORCEMENT

DEPT OF PLANNING & BUILDING.

THE CONCERN WE HAVE IS
^{PROPOSED}
NOT WITH THE CONSTRUCTION AT 5403 WHITTIER.
BUT WE WISH TO INSURE THAT DRAINAGE
OR RUN OFF RESULTING FROM CONSTRUCTION
REMOVAL DOES NOT AFFECT STABILITY OF
HILL / ^{SLOPE} ON BACK SIDE OF PROPERTY.

WE WISH TO ENSURE THAT ALL
DRAINAGE IE. DRAINAGINGS TRAILING,
WOTO, DRAINLINES. AND BUT REGRADING
WILL BE DONE AS PER CITY REQUIREMENTS.

THANK YOU.



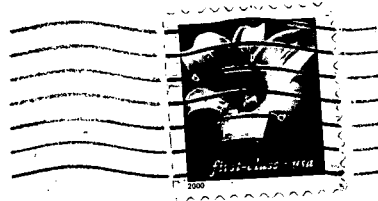
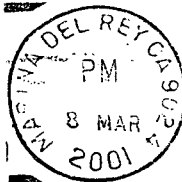
D.L. BROMLEY 310-3754998

5420 MOONER ALAGA R.P.U. 90275



Mrs. Annmarie Bromley
5420 Montemalaga Dr.

Pls Vrds Pnsl, CA 90275-1742



Rancho Palos Verdes

30940 Hawthorne Blvd

Rancho Palos Verdes, Ca. 90275-
5351

90275+5351





RANCHO PALOS VERDES

DEPARTMENT OF PLANNING, BUILDING, AND CODE ENFORCEMENT

February 15, 2001

NOTICE

NOTICE IS HEREBY GIVEN THAT the City of Rancho Palos Verdes has received a request for the following project:

Site Plan Review No. 9071: A request to construct 621 square feet of single-story room additions to an existing 1,392 square foot one-story residence, along the east west and rear elevations.

Location: 5403 Whitefox Drive

Applicant: Robert Treman Architecture

Landowner: Bill Gerich

Pursuant to the provisions of the Rancho Palos Verdes Municipal Code (RPVMC), no public hearing is required for this project. However, Section 17.02.030.B of the RPVMC requires a finding of "Neighborhood Compatibility" for an addition that is 25% or more than the original structure size (garage included). This notice serves to inform you of the pending application, and to inform you of a fifteen (15) day period, from the date of this notice, in which to submit any written comments on the proposed project. The Director when making a decision on this project will consider any comments received. The Director's decision is appealable in writing to the Planning Commission. Any appeal letter must be filed within fifteen (15) days of the Director's decision and must be accompanied by the appropriate filing fee of \$700.00. Interested parties, including those who comment on the project, will receive notification of the Director's decision.

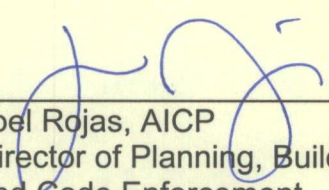
The City's primary concern with the "Neighborhood Compatibility" finding encompasses the following criteria for the ten closest homes to the subject property: 1) scale of surrounding residences; 2) architectural style and materials; and 3) front yard setbacks.

The application and plans are on file in the Planning, Building, and Code Enforcement Department at City Hall, 30940 Hawthorne Boulevard, and are available for review between the hours of 7:30 AM and 5:30 PM Monday through Thursday and 7:30 AM to 4:30 PM Friday. If you should have any concerns regarding this request, please communicate them in writing to City Staff within fifteen (15) days of the date of this notice. Thus, please submit any comments in writing by March 2, 2001.

NOTICE: Site Plan Review No. 9071
February 15, 2001

By doing so, you will ensure that your comments are taken into consideration when a decision is made on the proposed project.

If you have any questions concerning this application, please contact Assistant Planner Erik Krause at (310) 544-5228, or via e-mail at erikk@rpv.com.



Joel Rojas, AICP
Director of Planning, Building,
and Code Enforcement

NOTE: STATE GOVERNMENT CODE SECTION 65009 NOTICE: If you challenge this application in court, you may be limited to raising only those issues you or someone else raises in written correspondence delivered to the City of Rancho Palos Verdes during the public review period described in this notice.

To: pvnClass@aol.com
From: Marsha Zents <marshaz@rpv.com>
Subject: SPR 9071 Public Notice
Cc:
Bcc:
Attached: c:\program files\qualcomm\eudora mail\attach\SPR9071 NOA.doc;

Hi Nicole,
Can you please publish the attached notice on Saturday, February 17th.
Thanks. Marsha

X-Sender: erikk@207.238.114.197
X-Mailer: QUALCOMM Windows Eudora Version 5.0.2
Date: Thu, 15 Feb 2001 09:32:47 +0000
To: Marsha Zents <marshaz@rpv.com>
From: Erik Krause <ErikK@rpv.com>
Subject: Notice for Peninsula News

Marsha,

Could you please have the attached notice published in this Saturdays (2/17/01) Peninsula News.
The subject site is located at 5403 Whitefox Drive. Thanks!

Erik

PROOF OF PUBLICATION
(2015.5 C.C.P.)

STATE OF CALIFORNIA.
COUNTY OF LOS ANGELES,

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter. I am the principle clerk of the printer of the

Palos Verdes Peninsula News

a newspaper of general circulation, printed and published semi-weekly

In the City of Rancho Palos Verdes County of Los Angeles, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of Los Angeles, State of California, under the

date of October 15, 1963

Case Number C 824957; that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

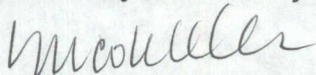
February 17,

in the year 2001.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Rancho Palos Verdes

California, this 17th day of February 2001



Signature

This space is for the County Clerk's Filing Stamp

P.V.P. News No. 6367

**RANCHO PALOS VERDES
DEPARTMENT OF PLANNING, BUILDING,
AND CODE ENFORCEMENT**

FEBRUARY 10, 2001

NOTICE

NOTICE IS HEREBY GIVEN THAT The City of Rancho Palos Verdes has received a request for the following project:

Site Plan Review No. 9071: A request to construct 621 square feet of single-story room additions to an existing 1,392 square foot one-story residence, along the east west and rear elevations.

Location: 5403 Whitefox Drive
Applicant: Robert Treman Architecture
Landowner: Bill Gerich

Pursuant to the provisions of the Rancho Palos Verdes Municipal Code (RPVMC), no public hearing is required for this project. However, Section 17.02.030.B of the RPVMC requires a finding of "Neighborhood Compatibility" for an addition that is 25% or more than the original structure size (garage included). This notice serves to inform you of the pending application, and to inform you of a fifteen (15) day period, from the date of this notice, in which to submit any written comments on the proposed project. The Director when making a decision on this project will consider any comments received. The Director's decision is appealable in writing to the Planning Commission. Any appeal letter must be filed within fifteen (15) days of the Director's decision and must be accompanied by the appropriate filing fee of \$700.00. Interested parties, including those who comment on the project, will receive notification of the Director's decision.

The City's primary concern with the "Neighborhood Compatibility" finding encompasses the following criteria for the ten closest homes to the subject property: 1) scale of surrounding residences; 2) architectural style and materials; 3) front yard setbacks.

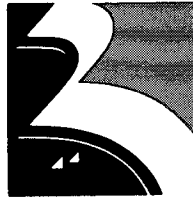
The application and plans are on file in the Planning, Building and Code Enforcement Department at City Hall, 30940 Hawthorne Boulevard, and are available for review between the hours of 7:30 AM to 5:30 PM Monday through Thursday and from 7:30 AM to 4:30 PM Friday. If you should have any concerns regarding this request, please communicate them in writing to City Staff within fifteen (15) days of the date of this notice. Thus, please submit any comments in writing by March 2, 2001. By doing so, you will ensure that your comments are taken into consideration when a decision is made on the proposed project.

If you have any questions concerning this application, please contact Assistant Planner Erik Krause at (310) 544-5228, or via e-mail at erikk@rpv.com.

Signed: Joel Rojas, AICP
Director of Planning, Building, and Code Enforcement

NOTE: STATE GOVERNMENT CODE SECTION 65009 NOTICE: If you challenge this application in court, you may be limited to raising only those issues you or someone else raised in written correspondence delivered to the City of Rancho Palos Verdes during the public review period described in this notice.

Published in the Palos Verdes Peninsula News on February 17, 2001.



RANCHO PALOS VERDES

DEPARTMENT OF PLANNING, BUILDING, AND CODE ENFORCEMENT

February 15, 2001

Mr. Bill Gerich
5403 Whitefox Drive
Rancho Palos Verdes, CA 90275

Subject: SITE PLAN REVIEW NO. 9071
Project Address: 5403 Whitefox Drive

Dear Mr. Gerich:

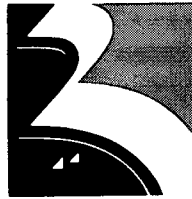
On January 26, 2001, the application listed above was submitted to the Planning, Building and Code Enforcement Department for processing. Pursuant to State Law, City Staff completed a review of the application on February 15, 2001 and determined that the information submitted is generally complete to begin processing the application. The City will mail and publish the required notice, allowing a 15-day comment period. Nonetheless, the City has 60 days from the date the application is deemed complete in which to complete the Staff Report and to have a decision rendered on the permit by the Director of Planning, Building and Code Enforcement. You will be notified once a decision has been made.

If you have any further questions regarding the processing of your application after receiving this notice, please feel free to call me at (310) 544-5228.

Sincerely,


Erik Krause
Assistant Planner

cc: Project File
Robert Treman, 2100 Sepulveda, Suite 11, Manhattan Beach, CA 90266



RANCHO PALOS VERDES

DEPARTMENT OF PLANNING, BUILDING, AND CODE ENFORCEMENT

February 1, 2001

Mr. Bill Gerich
5403 Whitefox
Rancho Palos Verdes, CA 90275

Subject: SITE PLAN REVIEW NO. 9071
Project Address: 5403 Whitefox

Dear Mr. Gerich:

On January 26, 2001, the application listed above was submitted to the Planning, Building, and Code Enforcement Department for processing. Your application has been assigned to Erik Krause, who will be the project planner responsible for processing your application through the planning permit stage. Within 30 days of the date of submittal, the project planner will conduct a preliminary review of your application to determine if the information provided is generally complete or needs to be augmented in any way. The project planner will notify you in writing as to the status of your application before or shortly after that time. If there are items that still need to be provided in order to make the application submittal complete, it is advised that you supply these items to the project planner in a timely manner in order to avoid any delay in the processing of the application.

The Planning, Building, and Code Enforcement Department looks forward to working with you on your proposed project. If you have any questions regarding your application submittal, please feel free to contact Erik at (310) 544-5228.

Sincerely,

Joel Rojas
Director of Planning, Building, and
Code Enforcement

cc: Project Planner
Robert Treman, 2100 Sepulveda #11, Manhattan Beach, CA 90266

W:\Forms\Plng\misc\submit.let.doc



RANCHO PALOS VERDES

DEPARTMENT OF PLANNING, BUILDING, AND CODE ENFORCEMENT

SITE PLAN REVIEW APPLICATION NUMBER 9071

APPLICANT/CONTRACTOR:

(Name): ROBERT TREMAN

(Address): 2100 N. SERRA LOMA #11

MANHATTAN BEACH CA 90266

Phone: Work: () 379 8867
Home: () _____

LANDOWNER:

(Name): GERI CH

(Address): 5403 WHITEFOX DR.

R.P.V.

Phone: Work: () _____
Home: () 375-0466

Project Location: 5403 WHITEFOX

Detailed Project Description:

ENCLOSE 2 EXISTING COVERED PORCHES +
ONE STORY ADDITIONS TO EXIST 1 STORY S.F.P.

GENERAL INFORMATION

Existing Development

- 1956 1. Year lot was created.
- 1392 2. Square footage of the enclosed existing primary structure, including attached enclosed patios.
- 2 3. Number of enclosed parking spaces.
- 441 4. Square footage of enclosed garage.

- 0 5. Square footage of all enclosed detached accessory structures.
- 2083 6. Square footage of **building footprint** (including primary and accessory structures, covered patios and porches, decks over 30" in height and courtyards enclosed by three or more walls.)
- 800 7. Square footage of driveways and parking areas.
- 7260 8. Square footage of lot.
- 2889 9. Square footage of **existing** lot coverage [line 6 + line 7].
- 40% 10. Percentage of **existing** lot coverage [line 9 divided by line 8].

Proposed Development

- 15'3" 15.25' 11. Maximum height of project, measured from the highest point of existing grade covered by the structure to ridge. *EXISTING TO REMAIN*
- 15'9" 15.75' 12. Maximum height of project, measured from the finished grade adjacent to the lowest foundation to ridge. *EXISTING TO REMAIN*
- 621 13. Square footage of the **proposed** new enclosed floor area.
- A. First Story = 621
- B. Second Story = _____
- 2454 14. Square footage of **proposed** new structure footprint.
- 800 15. Square footage of driveways and parking areas.
- 3260 16. Square footage of **new** lot coverage [line 6 + line 14 + line 15].
- 45% 17. Percentage of **new** lot coverage [line 16 divided by line 8].

Grading Information

- 10 Total volume of earth to be moved (sum of cut and fill, in cubic yards).
- 35" Maximum height of fill.
- N/A Maximum depth of cut.

If the proposed project involves earth movement (sum of cut and fill) of 20 cubic yards or greater, or a 3 foot cut or fill or greater, a separate Grading Application is required.

3 SIDED COURTYARDS = 145 ϕ
 TREES = 80 ϕ
 TOTAL F.P. = 3485 ϕ
 % = 48

Information to Determine if a Foliage Analysis is Necessary

YES Does the proposed project involve an addition or structure which is 120 square feet or more in size and which can be used as a gathering space and viewing area (i.e., decks, covered patios)?

YES Does the proposed project involve an addition or structure which consists of 120 square feet or more of habitable space (i.e., room expansions, additions, conversions)?

If the answer is "no" to both questions, the proposed project is exempt from the "foliage removal" requirements, and a foliage analysis of the applicant's property is not necessary. If the answer is "yes" to either question, a foliage analysis must be conducted by Staff **prior to approval of the Site Plan Review Application** to determine if any existing foliage on the applicant's property, which exceeds 16 feet or the ridgeline of the primary residence, whichever is lower, impairs a view from any surrounding properties. An additional processing fee of \$110 is required to perform the foliage analysis and the foliage analysis will generally be completed within 2 to 3 days from application submittal.

Public Right-Of-Way Encroachment

Does the project involve any work, activity, or encroachment in the public right-of-way or public drainage structure? NO
If so, you must obtain approval from the Public Works Department prior to issuance of construction permits.

I HEREBY CERTIFY, under penalty of perjury, that the information and materials submitted with this application are true and correct.

[Signature] and [Signature]
Signature of Applicant/Contractor Signature of Landowner (REQUIRED)

Dated: 1/10/01 Dated: 1/10/01

AN APPLICATION WILL NOT BE ACCEPTED FOR PROCESSING WITHOUT THE SIGNATURE OF THE LANDOWNER.

CONTRACTORS PLEASE READ AND INITIAL:

I UNDERSTAND that in order to perform work in the City of Rancho Palos Verdes, a business license must be obtained from the City's Finance Department prior to obtaining a building permit from the Building and Safety Division. _____
(initials)



RANCHO PALOS VERDES
Department of Planning, Building & Code Enforcement

CERTIFICATION OF PROPERTY OWNERS' MAILING LIST

Application(s) SITE PLAN REVIEW + NEIGHBORHOOD COMPATIBILITY

Applicant Name ROBERT TREMAN ARCHITECT

Subject Property Address 5403 WHITEFOX DRIVE

Notice Radius Required 500'

Number of property owners to be notified 49

I certify that the property owners' mailing list submitted with the application(s) listed above includes all of the persons listed on the latest adopted LA County Tax Roll as the legal owners (and if applicable occupants) of all parcels of land within _____ feet of the subject property noted above. I certify that the property owners' mailing list has been prepared in accordance with the City of Rancho Palos Verdes Development Code and "Vicinity Map Instructions Sheet." I also understand that if more than 20% of the notices are returned by the post office after mailing due to incorrect address information, or if the address information is not complete, that I will have to submit a new property owners' list that has been prepared and certified as accurate by a Title Company or other professional mailing list preparation service, and the project notice will have to be re-mailed.

x [Signature]
Property Owner (Applicant) Signature

x 1-13-01
Date

x Bill Gesich
Name (Please Print)

W:\Forms\Plng\misc\CERTIFICATIONPROPERTYOWNERSLIST.doc
12/16/99

PROPOSED RESIDENCE ADDITION FOR:

Bill and Nancy Gerich
5403 Whitefox Drive
Rancho Palos Verdes, CA 90275
(310) 375-0466

LEGAL DESCRIPTION:

Portion of Lot 66, Tract No. 21351
M.B. 598-32-38

ZONING:

Zone RS-5

EXISTING RESIDENCE:

LIVING AREA (actual)	1,392 sq. ft.
LIVING AREA (Building Records)	1,376 sq. ft.
GARAGE	441 sq. ft.
COVERED PORCHES	250 sq. ft.
FOOTPRINT (living, garage + porches)	2,083 sq. ft.
DRIVEWAY	806 sq. ft.

ADDITIONS/REMODEL:

LIVING AREA ADDED	371 sq. ft.
CONVERT COVERED PORCHES INTO LIVING	250 sq. ft.
TOTAL LIVING AREA ADDED	621 sq. ft.
INTERIOR REMODEL AREA	450 sq. ft.

PROPOSED RESIDENCE:

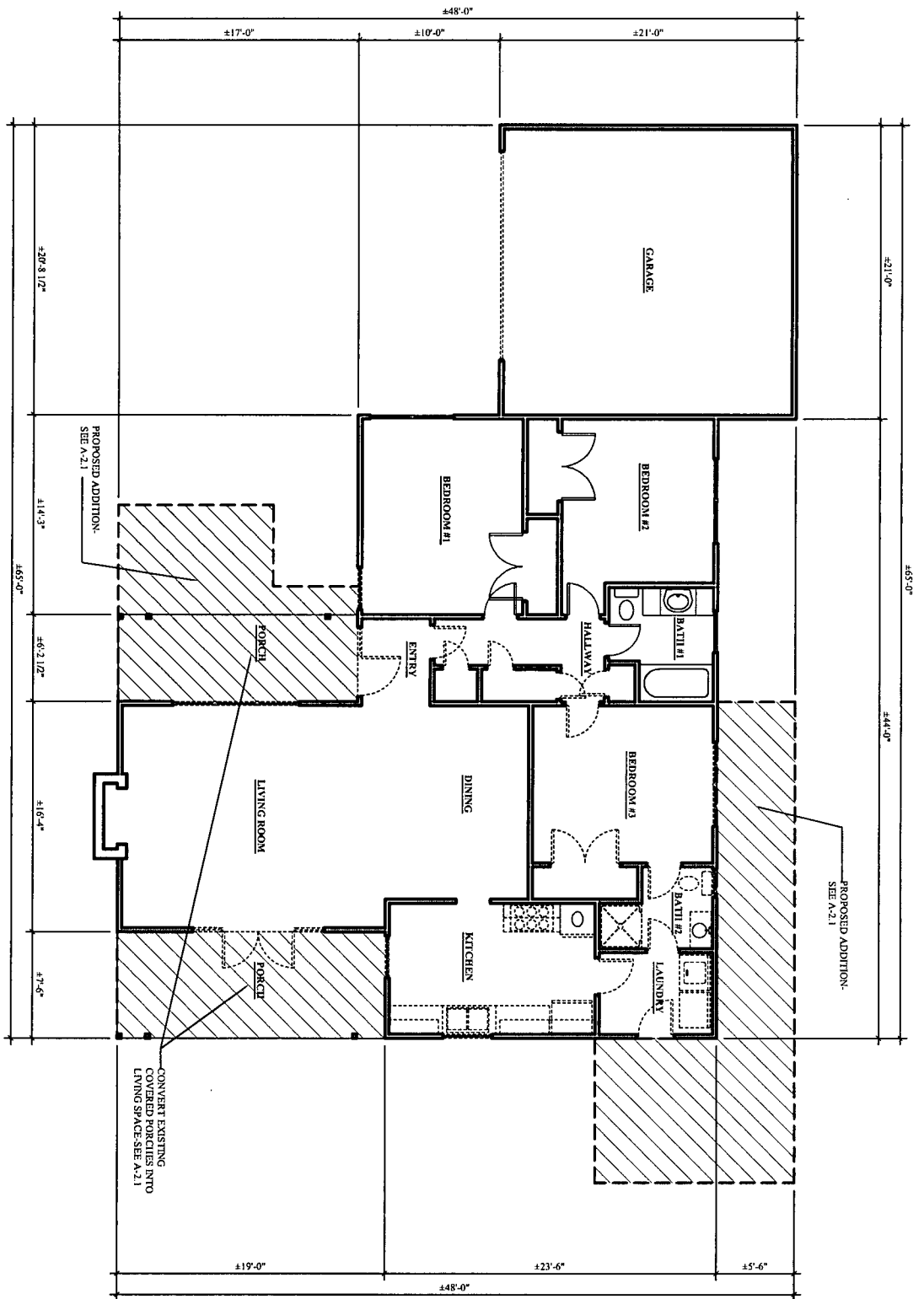
LIVING AREA	2,013 sq. ft.
GARAGE (no change)	441 sq. ft.
FOOTPRINT (living + garage)	2,454 sq. ft.
DRIVEWAY (no change)	806 sq. ft.
COURTYARDS (entry + west sideyard)	145 sq. ft.
TRELLIS	80 sq. ft.

LOT AREA/COVERAGE:

LOT AREA (66.0' x 110.0')	7,260 sq. ft.
MAXIMUM LOT COVERAGE 52%	3,775 sq. ft.
EXISTING (footprint + driveway)	2,889 sq. ft./40%
PROPOSED (footprint/driveway/courtyards/trellis)	3,485 sq. ft./48%



SITE PLAN
1/8" = 1'-0"



EXISTING FLOOR PLAN

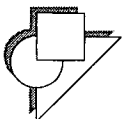
1/4" = 1'-0"

A-2.0

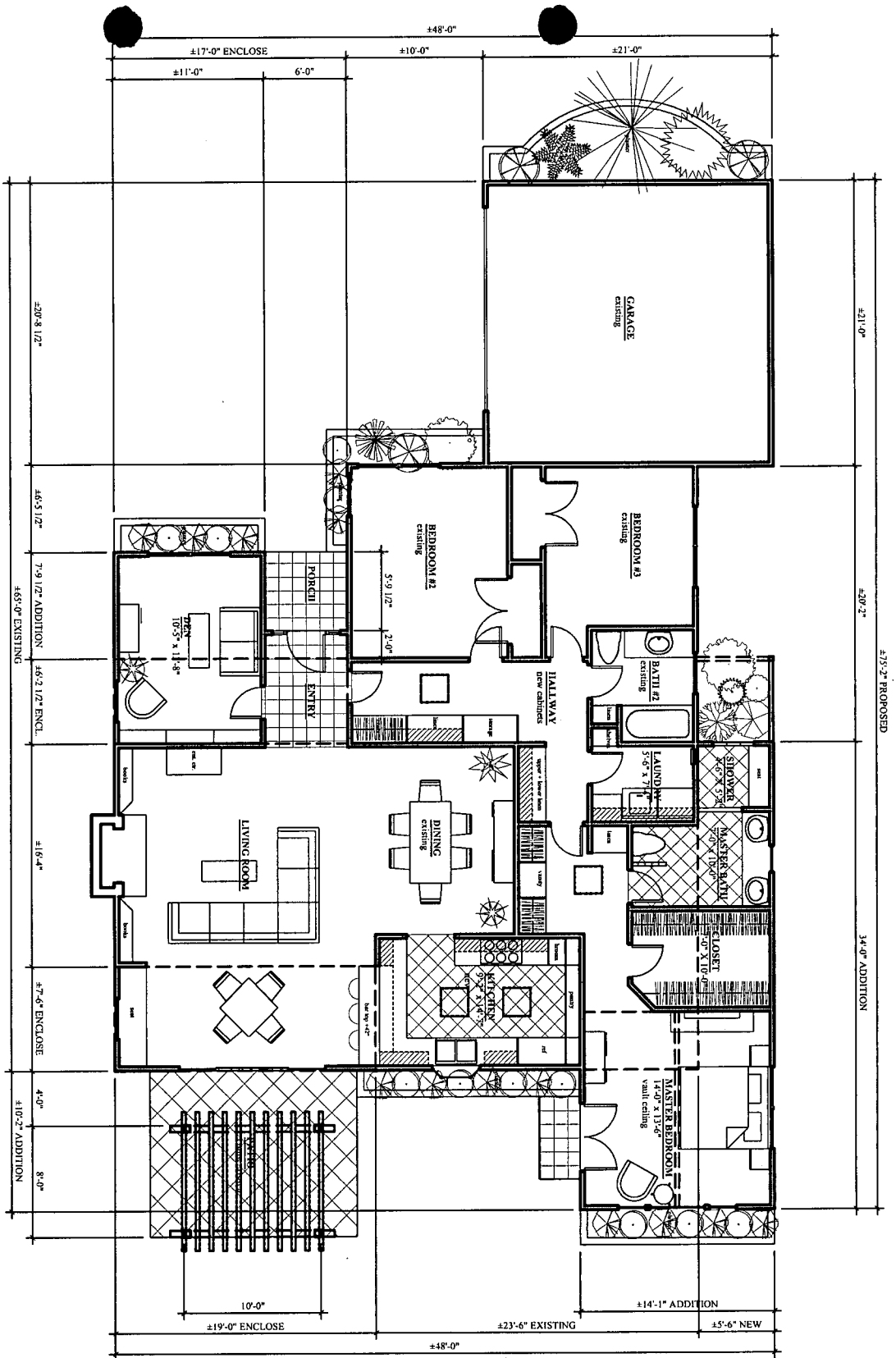
EXISTING FLOOR PLAN

GERICH RESIDENCE
5403 Whitefox Drive, Rancho Palos Verdes

www.rtaarchitecture.com
2100 N. Sepulveda Blvd, Suite 11
Malibu Beach, CA 90266
310.797.8587 Fax: 310.466.9371



**ROBERT
TREMMAN**
ARCHITECTURE



PROPOSED FLOOR PLAN

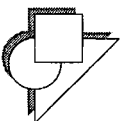
1/4" = 1'-0"

A-2.1

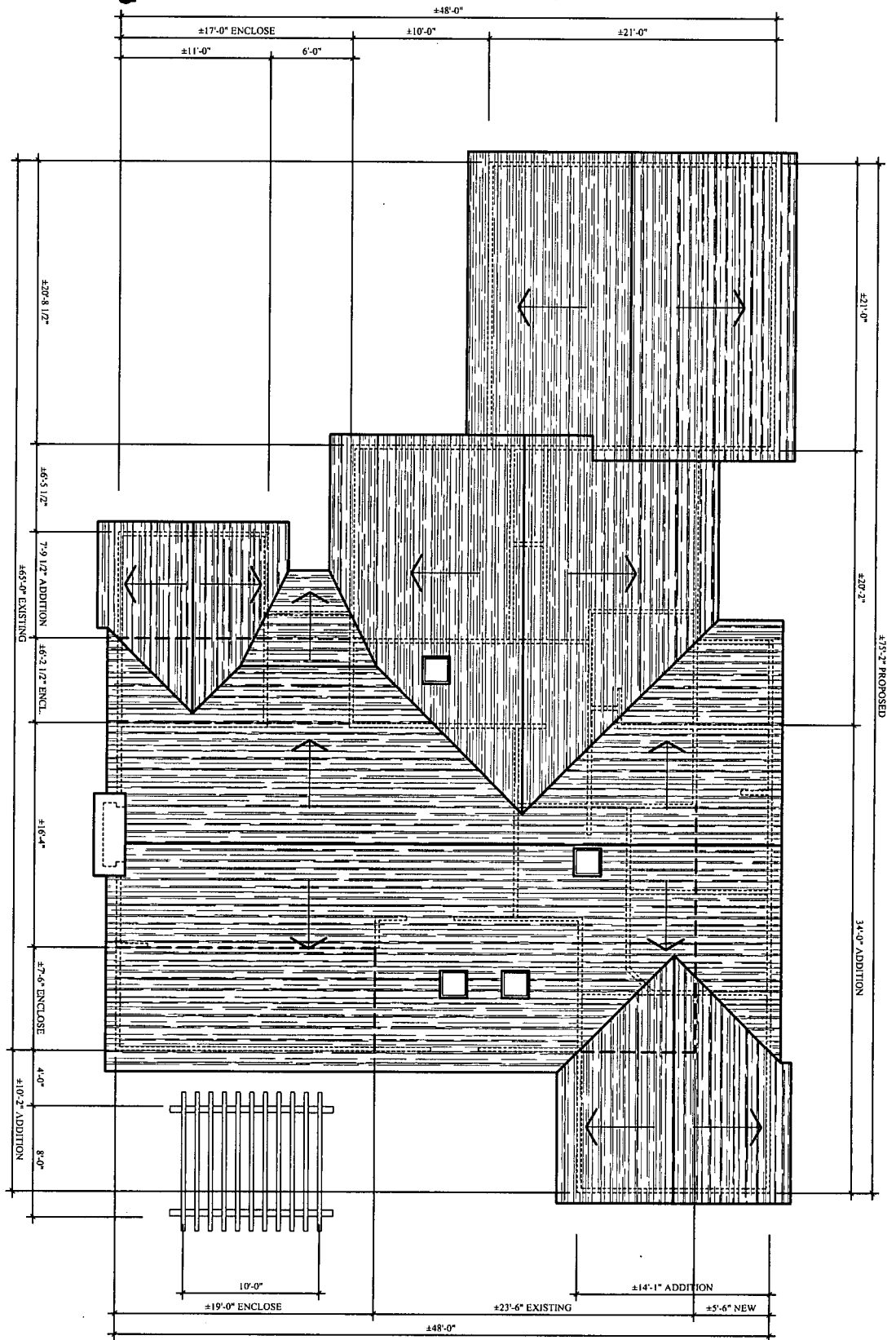
PROPOSED FLOOR PLAN

GERICH RESIDENCE
5403 Whitefox Drive, Rancho Palos Verdes

www.rtrchitect.com
2100 Wilshire Blvd., Suite 1111
Marina del Rey, CA 90266
310.379.8867 Fax: 310.464.9371



**ROBERT
TREMAN**
ARCHITECTURE



ROOF PLAN

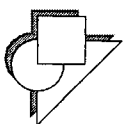
$\frac{1}{4}" = 1'-0"$

A-3.0

ROOF PLAN

GERICH RESIDENCE
5403 Whitefox Drive, Rancho Palos Verdes

www.rtrchitecture.com
2100 N. Sepulveda Blvd. Suite 11
Malibu Beach, CA 90266
(310) 771-8587 Fax (310) 464-5711

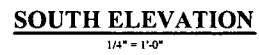


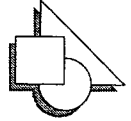
ROBERT
TREMAN
ARCHITECTURE

GERICH RESIDENCE
5403 Whitefox Drive, Rancho Palos Verdes

ELEVATIONS

A-4.0

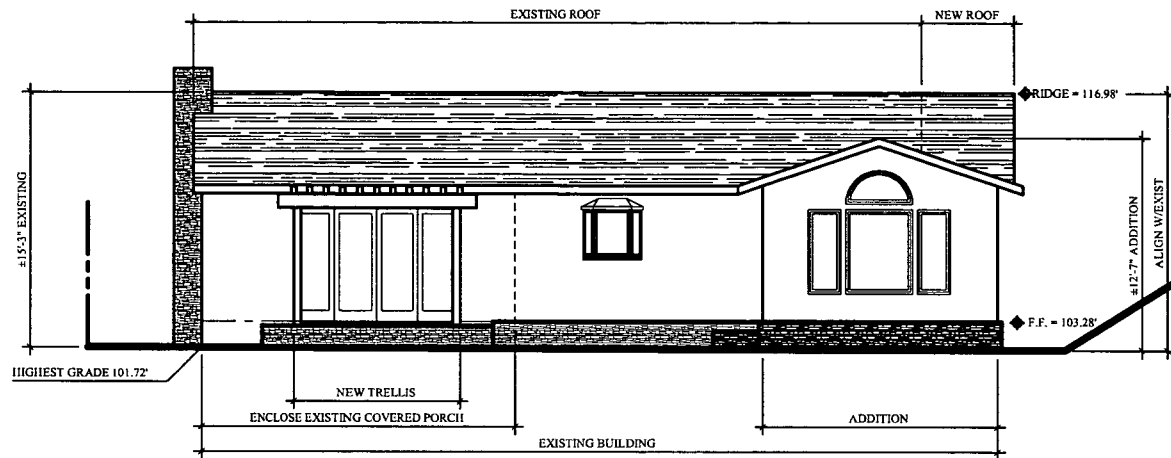




www.rtararchitecture.com
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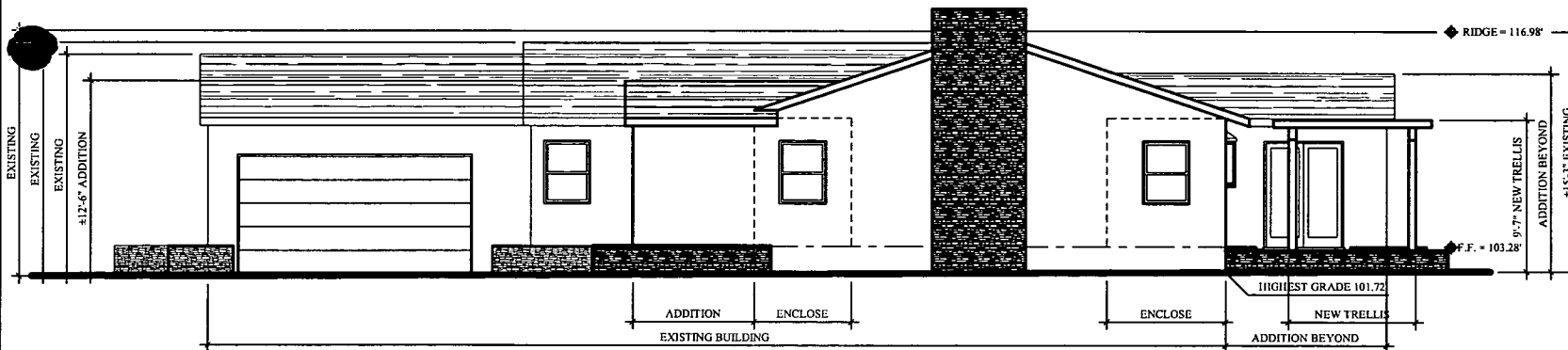
GERICH RESIDENCE
5403 Whitefox Drive, Rancho Palos Verdes

ELEVATIONS



NORTH ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"

SROUR & ASSOCIATES

Business and Real Estate Development Services
1001 Sixth Street, Suite 110
Manhattan Beach, CA 90266
310/372-8433 Fax 310/372-8894

January 24, 2001

PROPERTY OWNERSHIP INFORMATION

5403 Whitefox Drive
Rancho Palos Verdes, CA 90274
Legal description: Portion of Lot 66, Tract 21351
APN: 7557-001-002

PREPARED FOR: NANCY & BILL GERICH
5403 Whitefox Drive
Rancho Palos Verdes, CA 90274
Architect: Robert Treman

ATTACHMENTS:

Two copies of map depicting 500' radius from subject property
List of property owners/mailing addresses keyed to radius map
Duplicate sets of mailing labels to all owners
Notarized affidavit dated January 24, 2001
File copy

CERTIFIED PROPERTY OWNERS' LIST

AFFIDAVIT

STATE OF CALIFORNIA
COUNTY OF LOS ANGELES

I, Jane L. Thomas declare under penalty of perjury, that the attached list contains the names and addresses of all persons who are shown on the latest available assessment roll of the County of Los Angeles as owners of the subject property and as owners of property within a distance of 500 feet from the exterior boundaries of property legally described as follows:

Property address: 5403 Whitefox Drive, Rancho Palos Verdes

APN #: 7577-001-002

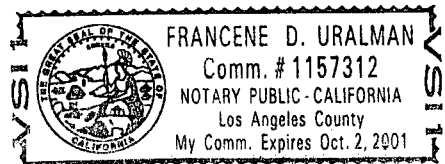
Legal description: Portion of Lot 66, Tract 21351

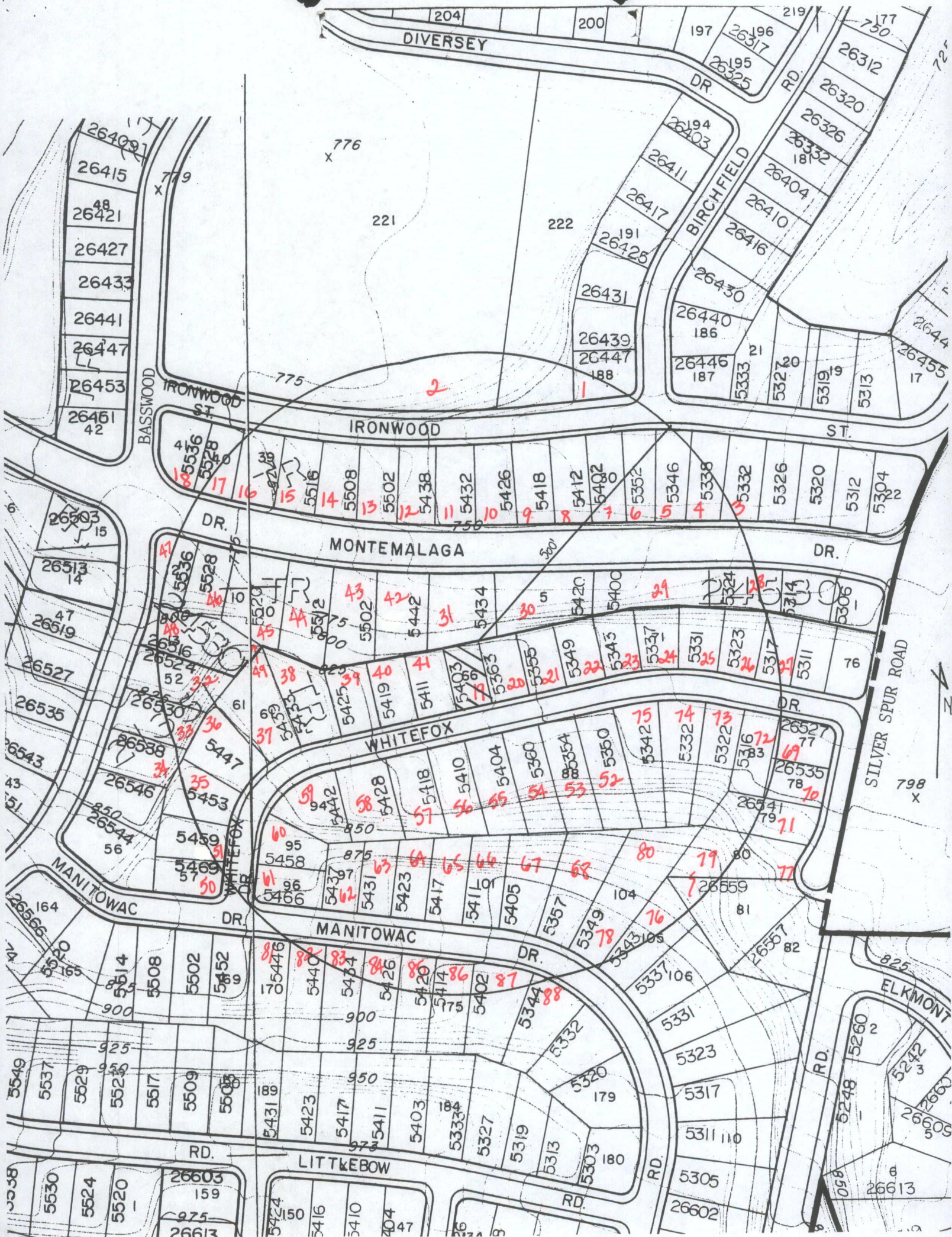
Date: January 24, 2001

Signed: *Jane L. Thomas*

Subscribed and sworn to before me this 24th day of January, 2001

Francene D. Uralman
Notary Public





500 FOOT RADIUS MAP KEYED TO PROPERTY OWNERSHIP LIST

5403 WHITEFOX DRIVE, RANCHO PALOS VERDES

Legal description: Portion of Lot 66, Tract 21351

January 24, 2001

PREPARED FOR:

NANCY & BILL GERICH

5304 Whitefox Drive

Rancho Palos Verdes, CA 90274

Architect: Robert Treman

PREPARED BY:

SROUR & ASSOCIATES

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Manhattan Beach, CA 90266

310/372-8433

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7577-003-017

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ANNA M DUFFY
5357 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2324

7577-004-001

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JOHN K & J K LOGAN
26527 SILVER SPUR RD
RANCHO PALOS VERDES CA 90275-2315

7577-004-002

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RUSSELL M & LISA S KOSHIMIZU
26535 SILVER SPUR RD
RANCHO PALOS VERDES CA 90275-2315

7577-004-003

71

DONALD I & CAROLINE H CARTER
26541 SILVER SPUR RD
ROLLING HILLS ESTATES CA 90275-2315

7577-004-008

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GARY C & SANDRA M ETO
5322 WHITEFOX DR
RANCHO PALOS VERDES CA 90275-2317

7577-004-009

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RICHARD W & CAROLE MOLONY
5332 WHITEFOX DR
RANCHO PALOS VERDES CA 90275-2317

7577-004-010

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CATHERINE C GIRARDEY
5342 WHITEFOX DR
RANCHO PALOS VERDES CA 90275-2317

7577-004-012

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JIM & ANNABELL KIM
5343 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2324

7577-004-018

77

BARBARA DORMAN
26557 SILVER SPUR RD
ROLLING HILLS ESTATES CA 90275-2315

7577-004-020

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PAUL W & MARGO P BESSE
5349 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2324

7577-004-022

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LUKE & ELAINE CONOVALOFF
26559 SILVER SPUR RD
RANCHO PALOS VERDES CA 90275-2315

7577-004-023

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CHARLES H SIE
26561 SILVER SPUR RD
RANCHO PALOS VERDES CA 90275-2315

7577-005-001

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RUSSELL R & JONI E SCHOON
5446 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

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MARLET TRUST
5440 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

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HILDE M ABERLE
5434 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

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REGIS A BERON
5426 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

7577-005-005

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SALLY L YOUNG
2424 VIA ANACAPA
PALOS VERDES ESTATES CA 90274-2634

7577-005-006

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FRANKLIN J BAYUK
5414 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

7577-005-007

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KARL N DULLACK
5402 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

7577-005-008

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GIANNIOSES TRUST PT
5344 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2325

7577-002-026

47

JR & BT Emerson Trust
5536 Montemalaga Drive
Rancho Palos Verdes, CA 90275

7577-004-007

72

James & Betty Bibeau
5316 Whitefox Drive
Rancho Palos Verdes, CA 90275

Srour & Associates

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Bob Treman

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14

Elizabeth O Gorman
5508 Ironwood Street
Rancho Palos Verdes, CA 90275

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15

Tamio & Midori Matsunaga
5103 Steveann Street
Torrance, CA 90503

7546-019-018

16

Samuel G Mayes Jr / Trust
5522 Ironwood Street
Rancho Palos Verdes, CA 90275

7546-019-019

17

Vernon & Barbara Hee / Trust
5528 Ironwood Street
Rancho Palos Verdes, CA 90275

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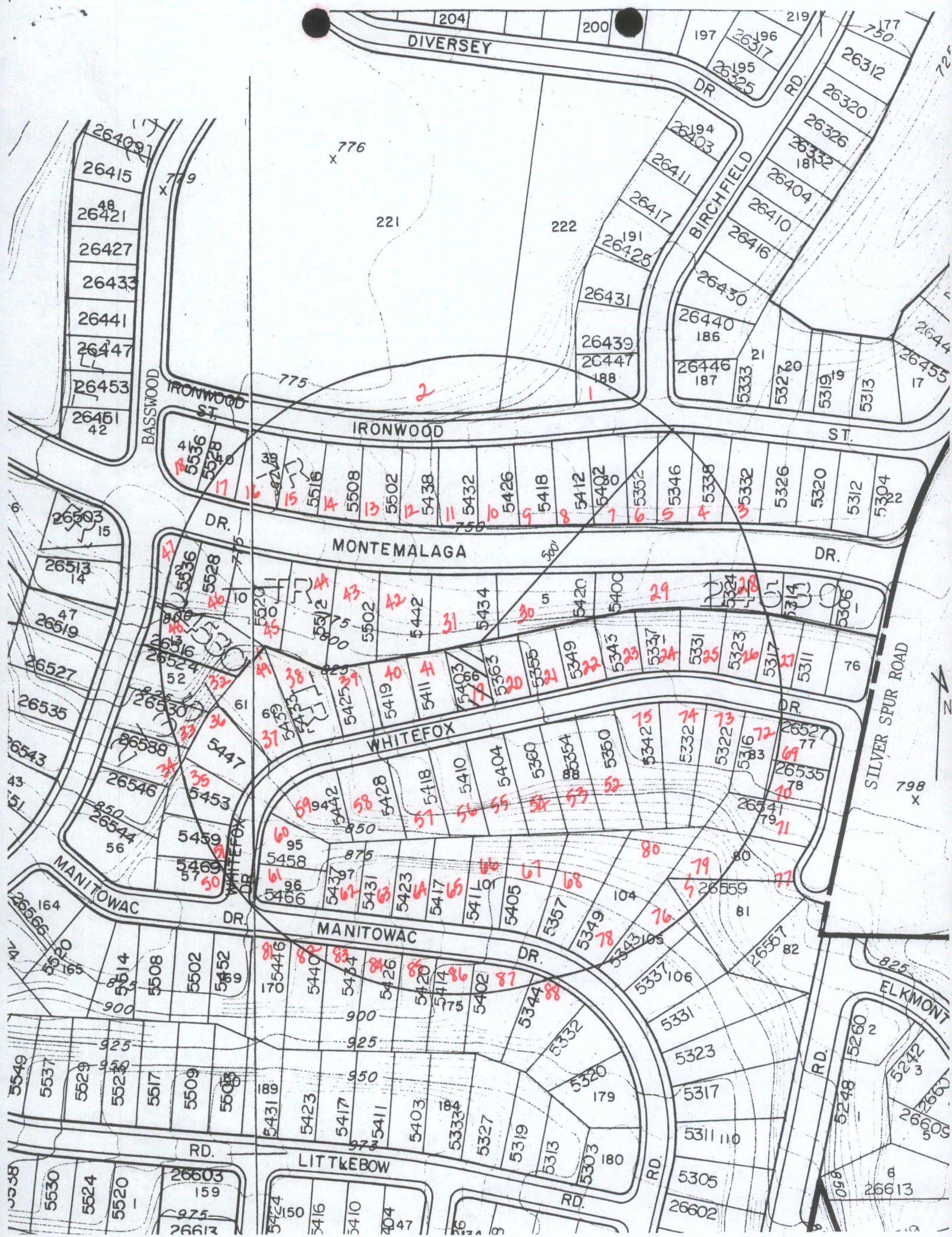
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Roderick & Gayle Walti
5536 Ironwood Street
Rancho Palos Verdes, CA 90275

7577-002-029

49

Walter & Janet Haskell
5439 Whitefox Drive
Rancho Palos Verdes, CA 90275



500 FOOT RADIUS MAP KEYED TO PROPERTY OWNERSHIP LIST
5403 WHITEFOX DRIVE, RANCHO PALOS VERDES
Legal description: Portion of Lot 66, Tract 21351
January 24, 2001

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NANCY & BILL GERICH
5304 Whitefox Drive
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Architect: Robert Treman

PREPARED BY:
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NORMAN & NANCY CHAO
5513 MARIALINDA ST
TORRANCE CA 90503-1830

7577-003-017 68
ANNA M DUFFY
5357 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2324

7577-004-003 71
DONALD I & CAROLINE H CARTER
26541 SILVER SPUR RD
ROLLING HILLS ESTATES CA 90275-2315

7577-004-010 75
CATHERINE C GIRARDEY
5342 WHITEFOX DR
RANCHO PALOS VERDES CA 90275-2317

7577-004-020 78
PAUL W & MARGO P BESSE
5349 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2324

7577-005-001 81
RUSSELL R & JONI E SCHOON
5446 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

7577-005-004 84
REGIS A BERON
5426 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

7577-005-007 87
KARL N DULLACK
5402 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

7577-004-007 72
James & Betty Bibeau
5316 Whitefox Drive
Rancho Palos Verdes, CA 90275

7546-019-016 14
Elizabeth O Gorman
5508 Ironwood Street
Rancho Palos Verdes, CA 90275

7546-019-019 17
Vernon & Barbara Hee / Trust
5528 Ironwood Street
Rancho Palos Verdes, CA 90275

7577-004-001 69
JOHN K & J K LOGAN
26527 SILVER SPUR RD
RANCHO PALOS VERDES CA 90275-2315

7577-004-008 73
GARY C & SANDRA M ETO
5322 WHITEFOX DR
RANCHO PALOS VERDES CA 90275-2317

7577-004-012 76
JIM & ANNABELL KIM
5343 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2324

7577-004-022 79
LUKE & ELAINE CONOVALOFF
26559 SILVER SPUR RD
RANCHO PALOS VERDES CA 90275-2315

7577-005-002 82
MARLET TRUST
5440 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

7577-005-005 85
SALLY L YOUNG
2424 VIA ANACAPA
PALOS VERDES ESTATES CA 90274-2634

7577-005-008 88
GIANNIOSES TRUST PT
5344 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2325

Srour & Associates
1001 Sixth Street, #110
Manhattan Beach, CA 90266

7546-019-017 15
Tamio & Midori Matsunaga
5103 Steveann Street
Torrance, CA 90503

7546-019-020 18
Roderick & Gayle Walti
5536 Ironwood Street
Rancho Palos Verdes, CA 90275

7577-004-002 70
RUSSELL M & LISA S KOSHIMIZU
26535 SILVER SPUR RD
RANCHO PALOS VERDES CA 90275-2315

7577-004-009 74
RICHARD W & CAROLE MOLONY
5332 WHITEFOX DR
RANCHO PALOS VERDES CA 90275-2317

7577-004-018 77
BARBARA DORMAN
26557 SILVER SPUR RD
ROLLING HILLS ESTATES CA 90275-2315

7577-004-023 80
CHARLES H SIE
26561 SILVER SPUR RD
RANCHO PALOS VERDES CA 90275-2315

7577-005-003 83
HILDE M ABERLE
5434 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

7577-005-006 86
FRANKLIN J BAYUK
5414 MANITOWAC DR
RANCHO PALOS VERDES CA 90275-2327

7577-002-026 47
JR & BT Emerson Trust
5536 Montemalaga Drive
Rancho Palos Verdes, CA 90275

Bob Treman
2100 Sepulveda Blvd., #11
Manhattan Beach, CA 90266

7546-019-018 16
Samuel G Mayes Jr / Trust
5522 Ironwood Street
Rancho Palos Verdes, CA 90275

7577-002-029 44
Walter & Janet Haskell
5439 Whitefox Drive
Rancho Palos Verdes, CA 90275



RANCHO PALOS VERDES

FEE RECEIPT FORM

6641

30940 HAWTHORNE BOULEVARD
RANCHO PALOS VERDES, CA 90275-5391
(310) 544-5228 • FAX (310) 544-5293

DATE: 1/30/01 NAME: NANCY GRZICH TELEPHONE: 375-1446

ADDRESS: 5403 WHITE FOX DR CITY: PALM CA ZIP: 90275

JOB OWNER: SAME JOB TRACT NO.: —

JOB ADDRESS: SAME

VALIDATION
(OFFICE
USE ONLY)

PAID JAN 30 '01

RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND	RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND
PLANNING APPLICATION(S) # _____ # _____ # _____	_____	1-32210	<input type="checkbox"/> PLAN CHECK FEE _____ TYPE _____	_____	1-32310
RESEARCH FEES <input type="checkbox"/> Address File <input type="checkbox"/> Geology File <input type="checkbox"/> Radius Map <input type="checkbox"/> Other: _____	_____	1-32230 1-32340	<input type="checkbox"/> TRUST DEPOSIT _____ TYPE _____	_____	_____
Document/Printing _____ ITEM(S) _____	_____	1-32230 1-32340	<input checked="" type="checkbox"/> OTHER <u>NEIGHBORHOOD COMPACTIBLE</u>	<u>175⁰⁰</u>	1-32210
Covenant Processing _____ TYPE _____	_____	1-32210	ENVIRONMENTAL EXCISE TAX	_____	38-3741
Penalty (\$) _____	_____	1-32220 1-32330	<input type="checkbox"/> Cash <u>7512</u> <input type="checkbox"/> Check No. _____	TOTAL: <u>175⁰⁰</u>	
Calculated by <u>1/30</u>	Received by <u>Darius V. 1/30</u>				



RANCHO PALOS VERDES

FEE RECEIPT FORM

6630

30940 HAWTHORNE BOULEVARD
RANCHO PALOS VERDES, CA 90275-5391
(310) 544-5228 • FAX (310) 544-5293

DATE: 1/26 NAME: GERICH TELEPHONE: _____

ADDRESS: 5403 WHITEFOX CITY: RPV ZIP: 90275

JOB OWNER: GERICH JOB TRACT NO.: 21351

JOB ADDRESS: 5403 WHITEFOX

VALIDATION
(OFFICE
USE ONLY)

PAID JAN 26 '01

RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND	RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND
PLANNING APPLICATION(S) <u>SAS</u> # <u>9071</u> # _____ # _____	<u>\$65</u>	1-32210	<input type="checkbox"/> PLAN CHECK FEE _____ TYPE _____		1-32310
RESEARCH FEES <input type="checkbox"/> Address File <input type="checkbox"/> Geology File <input type="checkbox"/> Radius Map <input type="checkbox"/> Other: _____		1-32230 1-32340	<input type="checkbox"/> TRUST DEPOSIT _____ TYPE _____		
Document/Printing _____ ITEM(S)		1-32230 1-32340	<input checked="" type="checkbox"/> OTHER <u>FOLIAGE</u>	<u>\$110</u>	<u>1-32210</u>
Covenant Processing _____ TYPE		1-32210	ENVIRONMENTAL EXCISE TAX		38-3741
Penalty (\$) _____		1-32220 1-32330	<input type="checkbox"/> Cash <input checked="" type="checkbox"/> Check No. <u>7894</u>	TOTAL: <u>\$ 175</u>	
Calculated by <u>ARA</u>	Received by <u>Jenny Vito</u>				



RANCHO PALOS VERDES

FEE RECEIPT FORM

6986

30940 HAWTHORNE BOULEVARD
RANCHO PALOS VERDES, CA 90275-5391
(310) 544-5228 • FAX (310) 544-5293DATE: 4/9/01 NAME: X GERICH TELEPHONE: _____ADDRESS: X 5403 WHITEFOX CITY: RPV ZIP: _____JOB OWNER: X GERICH JOB TRACT NO.: _____JOB ADDRESS: X SAMEVALIDATION
(OFFICE
USE ONLY)

PAID APR 9 '01

RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND	RECEIPT FOR	AMOUNT	ACCOUNT OR TRUST FUND
PLANNING APPLICATION(S) # _____ # _____ # _____	_____	1-32210	<input checked="" type="checkbox"/> PLAN CHECK FEE <u>Addition/</u> <u>Ranodel</u> TYPE	<u>1121.47</u>	1-32310
RESEARCH FEES <input type="checkbox"/> Address File <input type="checkbox"/> Geology File <input type="checkbox"/> Radius Map <input type="checkbox"/> Other: _____	_____	1-32230 1-32340	<input type="checkbox"/> TRUST DEPOSIT _____ TYPE	_____	_____
Document/Printing _____ ITEM(S)	_____	1-32230 1-32340	<input checked="" type="checkbox"/> OTHER <u>GEO-Cat. 1</u>	<u>150.00</u>	1-32340
Covenant Processing _____ TYPE	_____	1-32210	ENVIRONMENTAL EXCISE TAX	_____	38-3741
Penalty (\$) _____	_____	1-32220 1-32330	<input type="checkbox"/> Cash <input checked="" type="checkbox"/> Check No. <u>7973</u>	TOTAL: <u>1271.47</u>	
Calculated by <u>C</u>	Received by <u>Dancy Vitz</u>				

STATEMENT OF CONFORMANCE WITH
FIRE WARNING ORDINANCES

The undersigned RAYMOND G. KNAUSS
(typed or printed)

hereby declare(s) that (I) (we) are the owner(s) of the hereinafter
legally described real property located in the City of Rancho Palos
Verdes, County of Los Angeles, State of California:

The south 110 feet of Lot 66 measured
at right angles to the south line
thereof in Tract No. 21351 as per
map

~~is~~ recorded in Book 598, page 32-38, Records of Los Angeles County,
known as

5403 Whitefox Drive, City of Rancho Palos Verdes, and
Street Address

declare that the dwelling unit(s) located at said real property (is)
(are) legally equipped with fire warning devices as required in the
Rancho Palos Verdes Municipal Code, Title 15, Chapter 15.04, Section
15.04.120 and Title 8, Chapter 8.08, Section 8.08.010.

Owner: Raymond G. Knauss
Signature

Owner: _____
Signature

Owner: _____
Signature

Owner: _____
Signature

Date: 21 December 1986

RECEIVED
JAN 5 1987
ENVIRONMENTAL SERVICES